



BOARD OF SUPERVISORS AGENDA ITEM REPORT

Requested Board Meeting Date: 10/06/2020

Project Name: New Tucson ^{Unit} 5.4 Lots: 98-115, 178-191, 193-256
Title: Plan #: P17SC00016
Owner/Developer: D.R. Horton

Introduction/Background:

Acceptance of the above referenced Project/Roadway into the Pima County Maintenance System.

Discussion:

Project/Roadway Improvements have been completed and dedicated to Pima County and Recorded as Public Right-of-Way. Recommendation is made to accept the attached roadways into the Pima County Maintenance System.

Conclusion:

If Approved:

Public improvements completed adjacent to these Subdivision Lots and/or Roadway will be maintained by the Pima County Department of Transportation.

If Denied:

Recently completed improvements to the above referenced Project/Roadway will not be maintained by the Pima County Department of Transportation.

Recommendation:

Acceptance of the attached roadways/subdivision improvements into the Pima County Maintenance System.

Fiscal Impact:

No cost to the Department for these improvements. If accepted into the Maintenance System there will be a cost associated with the maintenance, however not immediately since it is new construction.

Board of Supervisor District:

☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ All

Department: Transportation Telephone: 520-724-6410

Contact: Brian Crowninshield Telephone: 520-724-2323

Department Director Signature/Date: Adam Alvarez 8/28/2020

Deputy County Administrator Signature/Date: [Signature] 9/1/2020

County Administrator Signature/Date: C. R. [Signature] 9/1/2020

Date: August 25, 2020

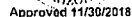
To: Ana M. Olivares, P.E.
Director

From: Brian Crowninshield, Manager
ROW Management *BZ*

Robert D. Johnson *RJ*
Division Manager
Department of Transportation

Subject: Project/Roadway: New Tucson Unit 5.4
Lots: 98-115, 178-191, 193-256
Plan Number: P17SC00016
Developer/Owner: Greg Carlson Engineering

We have performed a Final Inspection and found the improvements to be satisfactory and in general conformance to the plans and specifications. These roadways should be submitted to the Board of Supervisors for acceptance into the County Maintenance System.



ALL EXISTING BOUNDARY, EASEMENT, AND HORIZONTAL CONTROL/CENTERLINE INFORMATION SHOWN IS BASED ON THE PLAT FOR NEW TUCSON, UNIT 6, LOTS 1-312 AS RECORDED IN BOOK 17, PAGE 51 OF THE PIMA COUNTY RECORDS'S OFFICE. EXISTING TOPOGRAPHY, UTILITIES, AND OTHER INFORMATION SHOWN ON THIS PLAN IS BASED ON A "TOPOGRAPHICAL SURVEY PREPARED BY CARDINAL LAND SURVEYING, 425 S. FLUEN, TUCSON, AZ. 85716, JOB NO. 01-83, AS WELL AS FROM PLANS, BASE MAPPING, OR ADDITIONAL SURVEYS.

THE BASIS OF ELEVATION FOR THIS PLAN AS PROVIDED ON THE AFOREMENTIONED
CARDINAL SURVEY IS AS FOLLOWS: CITY OF TUCSON POINT PM21, A 3.25" ALUMINUM
DISK AT THE NORTHEAST CORNER OF SECTION 23, T10S, R13E, N400 88 DATUM.
SAND ELEVATION BEING: 3083.65

THE BASIS OF BEARING FOR THIS PLAIN AS PROVIDED ON THE AFOREMENTIONED CARDINAL SURVEY IS AS FOLLOWS: THE NORTH LINE OF SECTION 23 AS SHOWN ON THE PLAT OF NEW TUCSON, UNIT 8 (LOTS 1-455), BOOK 17, PAGE 84 OF MAPS AND PLATS, PIMA COUNTY RECORDER'S OFFICE.

'SAND BEARING BEING NORTH 83°30'35" WEST.

Prior to request for Final Inspection and Issuance of Sewer Discharge Authorization on New Tucson Unit 0.4, a separate Site Construction submittal or revision to P175C00018 shall be made to ste@apma.gov for review and approval of the required efforts left-turn lanes of Camino Del Torero/Courts Reford and Camino Del Torero/Adanirem Judson.

RAW CUT: 4,140 C.Y. SEE NOTE BELOW
RAW FILL: 8,280 C.Y. SEE NOTE BELOW
NOTE: THIS IS AN ESTIMATE ONLY.
THE CONTRACTOR IS RESPONSIBLE
FOR THEIR OWN EARTH WORK VALUES.

EARTHWORK NOTE:
EARTHWORK FOR THESE PUBLIC PAVING PLANS IS ESTIMATED TO BE 10,400 C.Y. OF IMPORT WITHOUT SHRINK FACTOR APPLIED. THE GRADING FOR STREETS AND ASSOCIATED DRAINAGEWAY IMPROVEMENTS HAS PREVIOUSLY BEEN COMPLETED FOR THE NEW TUCSON UNIT & MASS GRADING PLAN. P1204-318.

UNSUBDIVIDED

SCALE 1"=500'

NEW TUCSON, UNIT 2
LOTS 1 - 201, BK17 PG48
OF MAPS & PLATS

NEW TUCSON, UNIT 7
LOTS 1 - 159, BK17 PG76
OF MAPS & PLATS

NEW TUCSON, UNIT 6
LOTS 1 - 75, BK17 PG74
OF MAPS & PLATS

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
1.....	COVER SHEET, SITE KEYMAP, LEGEND
2.....	PAVING NOTES, GRADING NOTES, TYPICAL STREET SECTION
3-6.....	CURB TRANSITION DETAILS STREETS PLAN AND PROFILE
7.....	GENERAL NOTES, DETAILS
8.....	SUPPLEMENTARY GRADING PLAN US PH4 LOTS
9.....	DTL C&T, 84 CARROLL PL. STREET PLAN AND PROFILE RIP-RAP APRON END TREATMENT DETAIL
10.....	SIGNING AND STRIPING PLAN

	PROMISED EASEMENT AND CURB
	EXISTING EASEMENT AND CURB
	EXISTING WATERLINE, VALVE, REDUCE IN ASSEMBLY, AIR RELEASE VALVE
	EXISTING SEWER AND MANHOLE
	EXISTING US 'T' UTILITIES ELEC, GAS, TEL, CA
	RIGHT OF WAY/PROPERTY LINE
	STREET CENTERLINE
	EXISTING EASEMENT AS NOTED
	NEW EASEMENT AS NOTED
	EXISTING CONTOURS
	FINISH CONTOURS
	FLAG POLE
	EXISTING/NEW SURVEY MONUMENT
	BARRICADE BANNERS
	BOLLARDS
	SIGNS/MARKERS
	RIGHT OF WAY
	PUBLIC UTILITY EASEMENT
	GRADE BREAK
	Q. T. CP
	VERTICAL CURVE
	BEGIN/END VERTICAL CURVE
	POINT VERTICAL INTERSECTION
	EXISTING AND CURB RETENTION
	MID-POINT
	RADIUS, DIMENSION AS NOTED
	POINT (BEGIN) CURVE/END CURVE
	POINT OF TANGENCY
	HIGH POINT/FLOW POINT
	SHEET INDEX
	FINISHED PAV ELEVATION
	SIGHT VISIBILITY TRIANGLES (SVT)

TRUST NO 1025335
TITLE SECURITY AGENCY LLC
A DELAWARE LIMITED LIABILITY CO
2730 E BROADWAY BLVD, SUITE 1
TUCSON, AZ 85718
DIANE SLOAN, TRUST OFFICER

SYCAMORE WSTA, UNIT 5
HOMEOWNERS ASSOCIATION
C/O TERRY KLIPP
2200 E. RIVER ROAD
SUITE 105
TUCSON, AZ 85718
520-571-7800

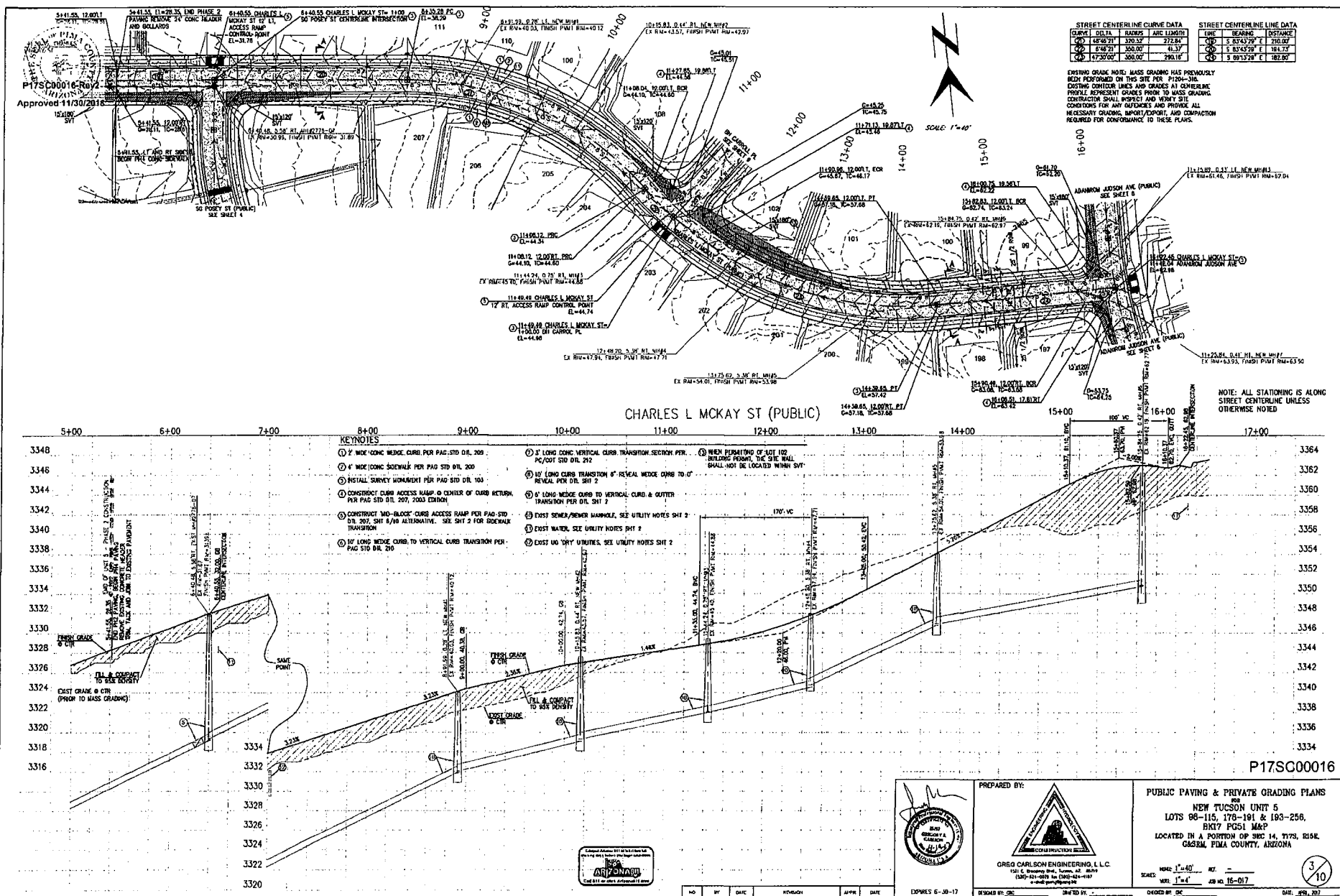
EXPIRES 6-30-20

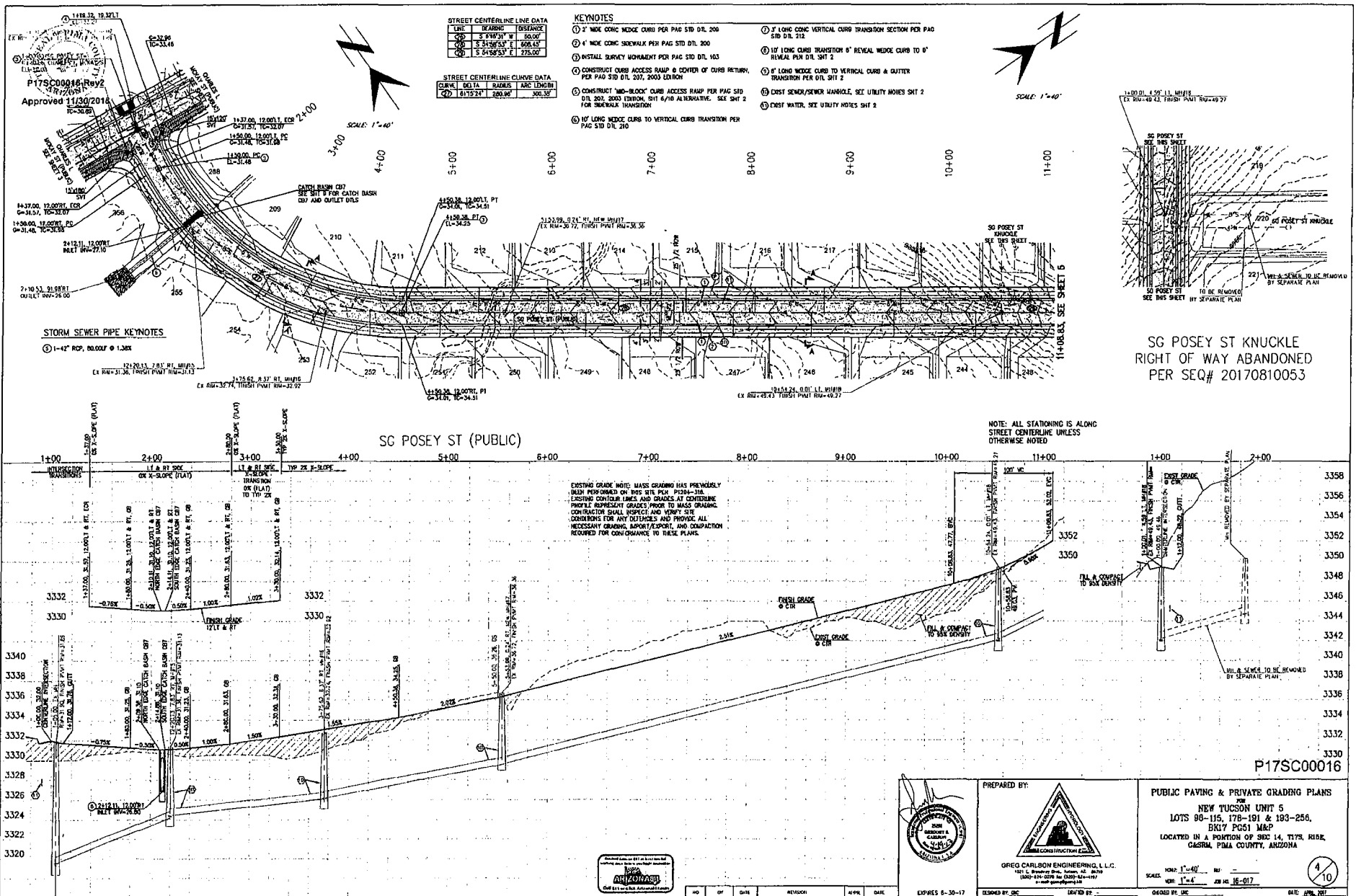
EXPIRES 6-30-20

P17C00016

Greg Carlson Engineering Project No. 18-017

One Extra Postcard Per Set, 16-012





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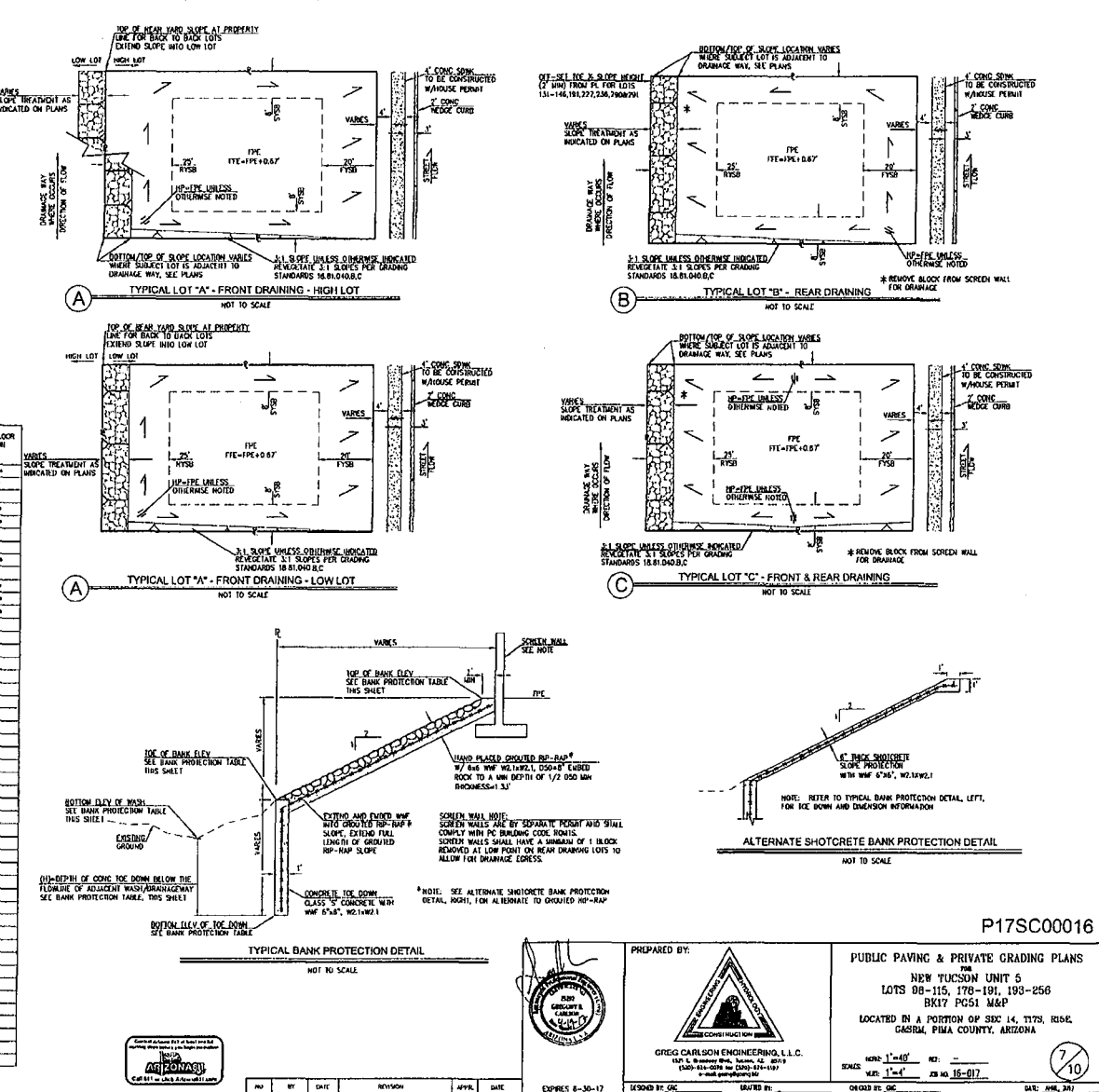
DATE: APR. 20 1972



[illegible][illegible]

ALL WORK SHEETS CORRESPOND TO GEOTECHNICAL SECTION, COMPLETE THE FOLLOWING DATA FOR EACH SHEET OF THE GEOTECHNICAL SECTION										
LOT #/S	UPSTREAM TOP OF SLOPE (ELEVATION)	DOWNSTREAM TOP OF SLOPE (ELEVATION)	UPSTREAM CROWN OF SLOPE (ELEVATION)	DOWNSTREAM CROWN OF SLOPE (ELEVATION)	100'-WATER SURFACE ELEVATION	BOTTOM ELEVATION OF HOUSING	TOE DOWN (H)	ELEV. OF BOTTOM OF TOE DOWN	FINISHED PAD (ELEVATION)	FINISHED FLOOR ELEVATION (FT)
98	3360.0	3360.0	3364.5*	3331.0	3355.64	3331.0	3.00	3348.0	3361.37	3351.97*
103	3356.0	3353.0	3351.0	3319.0	3353.24	3350.0	3.00	3347.0	3354.0	3354.67
104	3353.0	3350.0	3350.0	3346.0	3351.7	3347.0	3.00	3346.0	3356.3	3353.97
105	3353.0	3349.0	3349.0	3344.5	3349.4	3347.0	3.00	3344.0	3350.54	3351.17*
106	3348.5*	3348.5	3344.5	3342.0	3342.3	3342.0	3.00	3339.0	3348.25	3350.17*
109	3343.0	3343.0	3342.0	3338.0	3342.8	3339.0	3.00	3340.0	3344.0	3344.0
110	3343.0	3341.0	3340.0	3335.5	3341.0	3338.0	3.00	3335.0	3342.0	3342.67
111	3343.0	3341.0	3337.5	3336.0	3336.0	3335.0	3.00	3332.0	3340.0	3340.0
112	3339.5	3336.0	3335.5	3312.5	3335.8	3332.7	3.00	3328.7	3335.7	3337.87
113	3336.0	3333.0	3332.5	3313.0	3333.8	3331.2	3.00	3327.2	3335.2	3335.17*
114	3334.0	3331.0*	3331.0	3328.5	3332.1	3329.7	3.00	3326.7	3334.39	3334.67*
115	3332.7	3332.0*	3318.5	3317.0	3336.3	3327.5	3.00	3324.5	3333.39	3333.67*
178	3365.0	3365.0	3363.8	3358.2	3363.17	3360.7	3.00	3357.8	3368.68	3366.87
179	3368.0	3368.0	3366.0	3360.6	3365.7	3364.0	3.00	3361.0	3368.3	3367.17
180	3368.0	3369.0	3367.8	3360.6	3368.29	3365.9	3.00	3362.9	3372.0	3370.67
181	3372.0	3372.0	3370.0	3370.8	3368.5	3368.5	3.00	3369.5	3372.0	3371.17
182	3372.0	3372.0	3373.7	3370.8	3373.8	3371.8	3.00	3368.8	3376.0	3374.87
183	3378.0	3378.0	3376.0	3373.2	3378.2	3375.3	3.00	3372.5	3378.5	3378.17
184	3380.0	3380.0	3378.0	3376.6	3378.9	3376.3	3.00	3372.9	3380.5	3381.17
185	3383.0	3383.0	3380.5	3378.0	3380.1	3378.5	3.00	3375.5	3383.1	3383.17
186	3385.0	3385.0	3382.5	3380.2	3383.2	3381.0	3.00	3378.0	3385.5	3386.17
187	3387.0	3387.0	3385.0	3382.5	3388.0	3384.5	3.00	3381.5	3388.0	3388.67
188	3388.0	3389.0	3388.5	3386.0	3389.5	3386.0	3.00	3383.0	3391.0	3390.67
189	3391.0	3391.0	3389.5	3387.8	3391.8	3388.0	3.00	3384.0	3394.0	3393.87
190	3396.0	3396.0	3394.5	3391.5	3394.3	3392.5	3.00	3389.5	3397.0	3397.67
191	3399.0	3399.0	3398.5	3394.5	3397.34	3394.0	3.00	3391.0	3400.8	3399.27
236	3371.0	3371.0	**	**	3356.0	**	**	**	3377.0	3372.67
237	3375.0	3375.0	**	**	3354.5	**	**	**	3374.0	3374.67
238	3374.0	3373.0	**	**	3351.4	**	**	**	3373.0	3374.67
239	3373.0	3367.0	**	**	3353.2	**	**	**	3368.0	3368.67
240	3384.0	3384.0	**	**	3364.7	**	**	**	3384.0	3384.67
241	3380.0	3380.0	**	**	3348.0	**	**	**	3381.0	3381.67
242	3392.0	3392.0	3388.0	3384.0	3387.3	3385.0	3.00	3382.0	3395.0	3395.67
243	3392.0	3391.0	3384.0	3384.0	3394.5	3393.5	3.00	3390.5	3392.0	3393.67
244	3349.0	3349.0	3346.6	3341.9	3344.4	3342.0	3.00	3339.0	3349.0	3349.67
245	3346.6	3345.0	3341.0	3338.0	3341.9	3340.0	3.00	3337.0	3346.0	3346.67
246	3346.6	3347.5	3339.9	3336.0	3346.8	3348.0	3.00	3345.0	3345.5	3347.17
247	3347.9	3347.9	3344.0	3340.5	3346.8	3345.0	3.00	3343.0	3347.0	3347.67
248	3348.0	3348.0	3345.5	3342.0	3345.81	3343.5	3.00	3340.5	3346.0	3346.67
249	3350.7	3350.7	3347.9	3343.0	3350.8	3348.0	3.00	3345.0	3350.2	3350.67
250	3352.0	3351.0	3347.0	3342.0	3352.2	3350.0	3.00	3347.0	3351.0	3351.67
251	3353.0	3353.0	3350.0	3345.0	3353.6	3351.0	3.00	3348.0	3353.0	3353.67
252	3354.0	3353.0	3350.0	3345.0	3354.8	3352.0	3.00	3349.0	3354.0	3354.67
253	3354.0	3353.0	3350.0	3345.0	3355.0	3352.0	3.00	3349.0	3355.0	3355.67
254	3354.0	3353.0	3350.0	3345.0	3355.2	3352.0	3.00	3349.0	3355.2	3355.67
255	3354.0	3353.0	3350.0	3345.0	3355.4	3352.0	3.00	3349.0	3355.4	3355.67
256	3354.0	3353.0	3350.0	3345.0	3355.6	3352.0	3.00	3349.0	3355.6	3355.67
257	3354.0	3353.0	3350.0	3345.0	3355.8	3352.0	3.00	3349.0	3355.8	3355.67
258	3354.0	3353.0	3350.0	3345.0	3356.0	3352.0	3.00	3349.0	3356.0	3356.67
259	3354.0	3353.0	3350.0	3345.0	3356.2	3352.0	3.00	3349.0	3356.2	3356.67
260	3354.0	3353.0	3350.0	3345.0	3356.4	3352.0	3.00	3349.0	3356.4	3356.67
261	3354.0	3353.0	3350.0	3345.0	3356.6	3352.0	3.00	3349.0	3356.6	3356.67
262	3354.0	3353.0	3350.0	3345.0	3356.8	3352.0	3.00	3349.0	3356.8	3356.67
263	3354.0	3353.0	3350.0	3345.0	3357.0	3352.0	3.00	3349.0	3357.0	3357.67
264	3354.0	3353.0	3350.0	3345.0	3357.2	3352.0	3.00	3349.0	3357.2	3357.67
265	3354.0	3353.0	3350.0	3345.0	3357.4	3352.0	3.00	3349.0	3357.4	3357.67
266	3354.0	3353.0	3350.0	3345.0	3357.6	3352.0	3.00	3349.0	3357.6	3357.67
267	3354.0	3353.0	3350.0	3345.0	3357.8	3352.0	3.00	3349.0	3357.8	3357.67
268	3354.0	3353.0	3350.0	3345.0	3358.0	3352.0	3.00	3349.0	3358.0	3358.67
269	3354.0	3353.0	3350.0	3345.0	3358.2	3352.0	3.00	3349.0	3358.2	3358.67
270	3354.0	3353.0	3350.0	3345.0	3358.4	3352.0	3.00	3349.0	3358.4	3358.67
271	3354.0	3353.0	3350.0	3345.0	3358.6	3352.0	3.00	3349.0	3358.6	3358.67
272	3354.0	3353.0	3350.0	3345.0	3358.8	3352.0	3.00	3349.0	3358.8	3358.67
273	3354.0	3353.0	3350.0	3345.0	3359.0	3352.0	3.00	3349.0	3359.0	3359.67
274	3354.0	3353.0	3350.0	3345.0	3359.2	3352.0	3.00	3349.0	3359.2	3359.67
275	3354.0	3353.0	3350.0	3345.0	3359.4	3352.0	3.00	3349.0	3359.4	3359.67
276	3354.0	3353.0	3350.0	3345.0	3359.6	3352.0	3.00	3349.0	3359.6	3359.67
277	3354.0	3353.0	3350.0	3345.0	3359.8	3352.0	3.00	3349.0	3359.8	3359.67
278	3354.0	3353.0	3350.0	3345.0	3360.0	3352.0	3.00	3349.0	3360.0	3360.67
279	3354.0	3353.0	3350.0	3345.0	3360.2	3352.0	3.00	3349.0	3360.2	3360.67
280	3354.0	3353.0	3350.0	3345.0	3360.4	3352.0	3.00	3349.0	3360.4	3360.67
281	3354.0	3353.0	3350.0	3345.0	3360.6	3352.0	3.00	3349.0	3360.6	3360.67
282	3354.0	3353.0	3350.0	3345.0	3360.8	3352.0	3.00	3349.0	3360.8	3360.67
283	3354.0	3353.0	3350.0	3345.0	3361.0	3352.0	3.00	3349.0	3361.0	3361.67
284	3354.0	3353.0	3350.0	3345.0	3361.2	3352.0	3.00	3349.0	3361.2	3361.67
285	3354.0	3353.0	3350.0	3345.0	3361.4	3352.0	3.00	3349.0	3361.4	3361.67
286	3354.0	3353.0	3350.0	3345.0	3361.6	3352.0	3.00	3349.0	3361.6	3361.67
287	3354.0	3353.0	3350.0	3345.0	3361.8	3352.0	3.00	3349.0	3361.8	3361.67
288	3354.0	3353.0	3350.0	3345.0	3362.0	3352.0	3.00	3349.0	3362.0	3362.67
289	3354.0	3353.0	3350.0	3345.0	3362.2	3352.0	3.00	3349.0	3362.2	3362.67
290	3354.0	3353.0	3350.0	3345.0	3362.4	3352.0	3.00	3349.0	3362.4	3362.67
291	3354.0	3353.0	3350.0	3345.0	3362.6	3352.0	3.00	3349.0	3362.6	3362.67
292	3354.0	3353.0	3350.0	3345.0	3362.8	3352.0	3.00	3349.0	3362.8	3362.67
293	3354.0	3353.0	3350.0	3345.0	3363.0	3352.0	3.00	3349.0	3363.0	3363.67
294	3354.0	3353.0	3350.0	3345.0	3363.2	3352.0	3.00	3349.0	3363.2	3363.67
295	3354.0	3353.0	3350.0	3345.0	3363.4	3352.0	3.00	3349.0	3363.4	3363.67
296	3354.0	3353.0	3350.0	3345.0	3363.6	3352.0	3.00	3349.0	3363.6	3363.67
297	3354.0	3353.0	3350.0	3345.0	3363.8	3352.0	3.00	3349.0	3363.8	3363.67
298	3354.0	3353.0	3350.0	3345.0	3364.0	3352.0	3.00	3349.0	3364.0	3364.67
299	3354.0	3353.0	3350.0	3345.0	3364.2	3352.0	3.00	3349.0	3364.2	3364.67
300	3354.0	3353.0	3350.0	3345.0	3364.4	3352.0	3.00	3349.0	3364.4	3364.67
301	3354.0	3353.0	3350.0	3345.0	3364.6	3352.0	3.00	3349.0	3364.6	3364.67
302	3354.0	3353.0	3350.0	3345.0	3364.8	3352.0	3.00	3349.0	3364.8	3364.67
303	3354.0	3353.0	3350.0	3345.0	3365.0	3352.0	3.00	3349.0	3365.0	3365.67
304	3354.0	3353.0	3350.0	3345.0	3365.2	3352.0	3.00	3349.0	3365.2	3365.67
305	3354.0	3353.0	3350.0	3345.0	3365.4	3352.0	3.00	3349.0	3365.4	3365.67
306	3354.0	3353.0	3350.0	3345.0	3365.6	3352.0	3.00	3349.0	3365.6	3365.67
307	3354.0	3353.0	3350.0	3345.0	3365.8	3352.0	3.00	3349.0	3365.8	3365.67
308	3354.0	3353.0	3350.0	3345.0	3366.0	3352.0	3.00	3349.0	3366.0	3366.67
309	3354.0	3353.0	3350.0	3345.0	3366.2	3352.0	3.00	3349.0	3366.2	3366.67
310	3354.0	3353.0	3350.0	3345.0	3366.4	3352.0	3.00	3349.0	3366.4	3366.67
311	3354.0	3353.0	3350.0	3345.0	3366.6	3352.0	3.00	3349.0	3366.6	3366.67

ALL BOUNDARY & EASEMENT INFORMATION SHOWN HEREON IS BASED ON THE RECORDED PLAT FOR NEW TUCSON, UNIT 5 (LOTS 1-312) AS RECORDED IN BOOK 17 PAGE 51 OF THE PIMA COUNTY RECORDER'S OFFICE. ALL EXISTING TOPOGRAPHY & UTILITY INFORMATION SHOWN ON THIS PLAN IS BASED ON A "TOPOGRAPHICAL SURVEY" PREPARED BY CARDINAL LAND SURVEYING, 425 S. FLUMER, TUCSON, AZ. 85719, JOB NO. 03-44.



PREPARED BY:	
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PUBLIC PAVING & PRIVATE GRADING PLANS
NEW TUCSON UNIT 5
LOTS 08-115, 178-191, 193-256
BK17 PG51 M&P

LOCATED IN A PORTION OF SEC 14, T17S, R16E,
GASRM, PIMA COUNTY, ARIZONA

INCHES: 1"=40' FEET:

REF: 1°=4' DES NO. 16-017

01020 BT: GNC DATE: APR 21/



P17SC00016-Rev2
Approved 11/30/2018

SCALE: 1"=60'



NEW TUCSON UNIT 5 PHASE 4, SUPPLEMENTARY GRADING PLAN NOTES:

1. MASS GRADING AND BANK PROTECTION CONSTRUCTION HAS PREVIOUSLY BEEN PERFORMED ON THIS SITE PER PLAN P1204-316, DATED: "A" PRIVATE MASS GRADING PLAN FOR NEW TUCSON UNIT 5 LOTS 1-7, 20-23, 25-26, 28-30, 32-33, 35-36, 38-39, 41-42, 44-45, 47-51, AND NEW TUCSON UNIT 2 LOTS 181-184."
2. THIS NEW TUCSON UNIT 5 PHASE 4 SUPPLEMENTARY GRADING PLAN IS SUPPLEMENTARY TO THE UNIT 5 P1204-316 MASS GRADING PLAN (REFERENCED NOTE 1 ABOVE) FOR PROVIDING ADDITIONAL GRADING INFORMATION, DETAILS, AND REVISIONS TO:
a) COMPLETE THE MASS GRADING AND DRAINAGE IMPROVEMENTS WITHIN THE LIMITS OF THIS UNIT 5 PHASE 4 DEVELOPMENT NOT COMPLETED UNDER PREVIOUS CONSTRUCTION; AND
b) PROVIDE ADDITIONAL AND/OR REVISED GRADING AND DRAINAGE IMPROVEMENT INFORMATION AND DETAILS SPECIFIC TO UNIT 5 PHASE 4, PUBLIC PAVING PLANS FOR LOTS 181-184, 178-181, & 193-206.
3. FINISHED PAD ELEVATION GRADINGS ON THIS SUPPLEMENTARY GRADING PLAN SHALL SUPERSEDE FINISHED PAD ELEVATION GRADINGS PER P1204-316 MASS GRADING PLAN.
4. DIMENSIONS, ELEVATIONS, AND EXISTING AS-BUILT GRADINGS CONSTRUCTED PREVIOUSLY PER P1204-316 PLANS MAY BE FOUND DURING INSPECTION TO VARY FROM THIS SUPPLEMENTARY UNIT 5 PHASE 4 GRADING PLAN. THESE VARIANCES MAY BE WITHIN ACCEPTABLE TOLERANCE PROVIDED INDIVIDUAL LOT DRAINAGE AS PER LOT DETAILS AND AT MINIMUM 0.0% SLOPE, AND CROTTED RFP-RAP INTEGRITY HAS BEEN VERIFIED AND ACCEPTED. INDIVIDUAL ELEVATION, PLACEMENT VARIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR FURTHER ANALYSIS, REVIEW, AND FOR RECOMMENDATIONS AS OCCURS.
5. ALL OTHER EXISTING AS-BUILT EMBANKMENTS, GRADES AND RFP-RAP PROTECTED, WITHIN THESE NEW TUCSON UNIT 5 PHASE 4 SUPPLEMENTARY GRADING PLAN LIMITS, SHALL REMAIN UNCHANGED AS TO COMPLETENESS, LOCATION, INTENSITY, SLOPE, COMPACTION, AND CORRECT SIZE AND PLACEMENT OF RFP-RAP AND FILTER FABRIC WHERE CALLED FOR. ALL EMBANKMENTS SHALL BE COMPLETED OR CORRECTED WHERE DETECTED DEFICIENT FOR THESE UNIT 5 PHASE 4 SUPPLEMENTARY GRADING PLANS.

KEYNOTES-SUPPLEMENTARY GRADING PLAN ONLY

EMBANKMENTS NOTE: UNLESS OTHERWISE SPECIFIED, TYPICAL EMBANKMENTS SHALL BE 3:1 MAX GRADED SLOPE, FRONT OF LOT ORIGINALLY SHALL BE 10% MAX GRADE.

1. 1.5:1 CROTTED RFP-RAP SLOPE SEE DETAIL, SHEET 7
2. 2:1 MAX CROTTED RFP-RAP SLOPE
3. 2:1 TO 3:1 CROTTED 1/2" PLACED RFP-RAP SLOPE TRANSITION
4. 1:1 SHOTCRETE SLOPE WITH TOE DOWN
5. BARRIQUADE RAILING PER STD DTL 100, OR 8' HIGH SLATED CHAIN LINK FENCE
6. 3:1 MAX SLOPE, TO BE REVEGETATED PER GRADING STANDARDS-18.01.04.01.C
7. CURED TO CURED TRANSVERSE GRATE SEE SHEET 9
8. WASH CHANNELIZATION CONSTRUCTED PER P1205-316
9. EXISTING BANK PROTECTION WITH TOE DOWN
10. BANK CHANNELIZATION PER P1205-316, NOT COMPLETED, TO REMAIN "AS-IS", TO BE COMPLETED BY THIS PLAN.
11. BANK PROTECTION AND TOE DOWN PER P1205-316, NOT COMPLETED, TO BE COMPLETED BY THIS PLAN.
12. 18" ALLEY, BK 17, PG 51 QUIT CLAIMED TO LHA PER SF01 20070240135 BECAUSE AS PUBLIC DRAINAGE AND MAINTENANCE EASEMENT ROAD.

LOT DRAINAGE KEYNOTES

1. FRONT DRAINAGE LOT, SEE LOT DRAINAGE DETAIL, SHEET 7
2. REAR DRAINAGE LOT, SEE LOT DRAINAGE DETAIL, SHEET 7
3. FRONT AND REAR DRAINAGE LOT, SEE LOT DRAINAGE DETAIL, SHEET 7

EXPIRES 6-30-20

EXPIRES 6-30-20

P17SC00016

ORC	1-24-18	REVISE KEYNOTE N-10	
GAC	1-24-18	TELEPHONE TO SHERIFF & FOR SEWER REACH BETWEEN 1/2" PLACED RFP-RAP APPROVED AS-BUILT BY AMERSON SURVEYING INC. DATED 7-12-18.	



PREPARED BY:



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PUBLIC PAVING & PRIVATE GRADING PLANS
FOR
NEW TUCSON UNIT 5
LOTS 98-115, 178-191 & 193-250
BK17 PG51 M&P
LOCATED IN A PORTION OF SEC 14, T17S, R9E,
GASPARA, PIMA COUNTY, ARIZONA

SCALE: 1"=60'
SHEET: 15 OF 17
DATE: 11-30-18

8/10



Greg Carlson Engineering Project No. 16-017

CB7



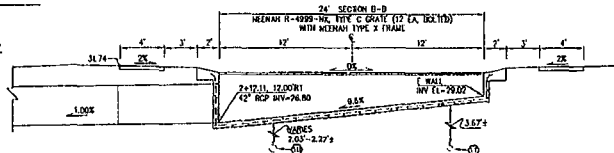
STORM SEWER PIPE KEYNOTES

- 1-42" RCP, INVERT @ 1.00%

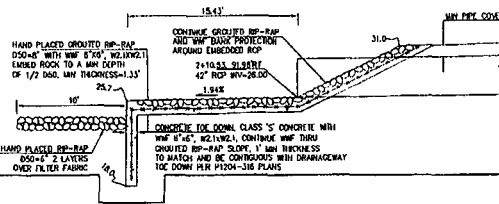
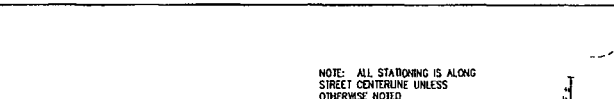
NOTE:
FOR CONTINUATION OF RIP-RAP BANK PROTECTION
CONCRETE TOE DOWN AND GRADING BEYOND
UPSTREAM AND DOWNSTREAM LIMITS OF
DRAINAGEWAY SHOWN ON THIS PLAN, REFER TO "A"
PRIVATE MASS GRADING PLAN FOR NEW TUCSON,
UNIT 5, P1704-316

18' ALLEY RD. (P) 18' ALLEY RD. (P) 18' ALLEY RD. (P)
DRAINAGEWAY SHOWN ON THIS PLAN, REFER TO "A"
PRIVATE MASS GRADING PLAN FOR NEW TUCSON,
UNIT 5, P1704-316

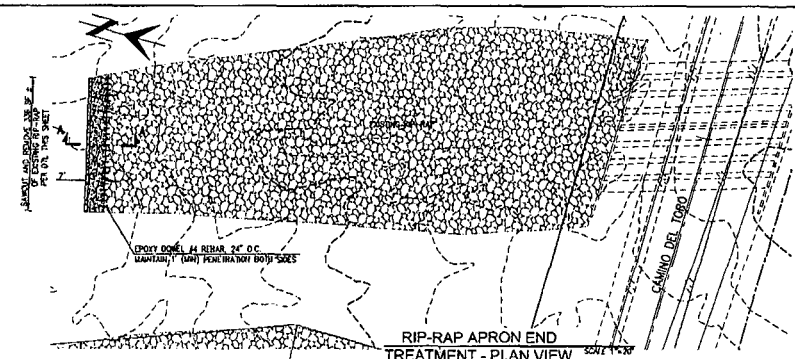
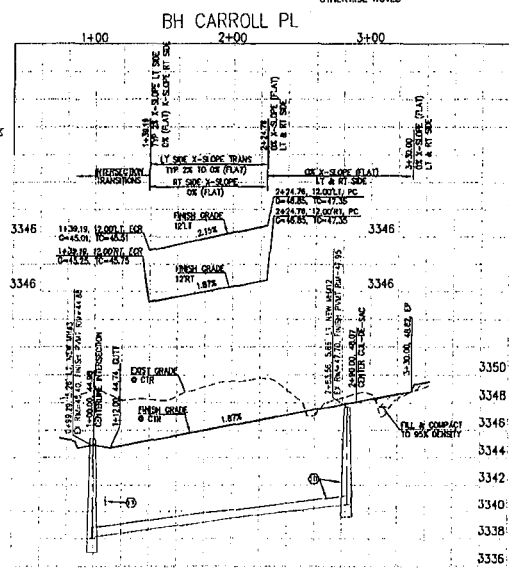
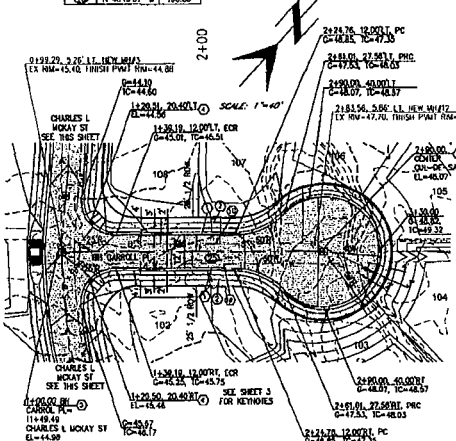
TRANSVERSE CATCH BASIN - PLAN VIEW
SG POSEY ST "CB7"



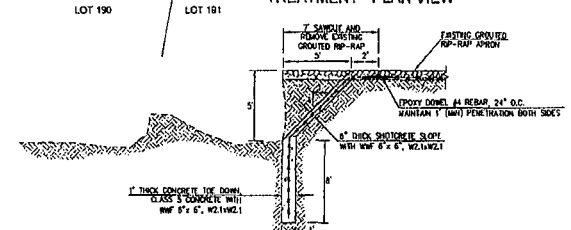
SECTION A-A
PROFILE VIEW TRANSVERSE CATCH BASIN
SG POSEY ST "CB7"



LINE	BEARING	DISTANCE
CD	N 48°19'31" W	100.00'



RIP-RAP APRON END TREATMENT - PLAN VIEW



SECTION A-A
RIP-RAP APRON END TREATMENT

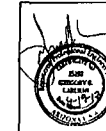


- KEYNOTES**
- EXISTING SEWER/SEWER MANHOLE, SEE UTILITY NOTES SHEET 2
 - EXISTING WATER, SEE UTILITY NOTES SHEET 2
 - WATER NOTE: ANY RUD WATERLINE MODIFICATIONS OR RELOCATIONS PER SEPARATE TUCSON WATER PLAN
 - SEWER NOTE: ANY RUD SEWER MODIFICATIONS PER SEPARATE TUCSON WATER PLAN

EXISTING GRADE NOTE: MASS GRADING HAS PREVIOUSLY
BEEN PERFORMED ON THIS SITE PER P1704-316.
EXISTING CENTERLINE LIMITS AND GRADES AT CENTERLINE
PROFILE REPRESENT GRADES PRIOR TO MASS GRADING.
CONTRACTOR SHALL INSPECT AND VERIFY SITE
CONDITIONS FOR ANY DEFICIENCIES AND PROVIDE ALL
NECESSARY GRADING, IMPORT/EXPORT, AND COMPACTING
RECORDED FOR CONFIRMANCE TO THESE PLANS.



NO.	BY	DATE	REVISION	APPN.	DATE
1	SG	11/30/2018			



PUBLIC PAYING & PRIVATE GRADING PLANS
FOR
NEW TUCSON UNIT 5
LOTS 98-115, 178-191, 103-258
BK17 PG51 M&P
LOCATED IN A PORTION OF SEC 14, T17S, R85E,
GADSDEN, PINA COUNTY, ARIZONA

9/10



STA 12475 ADAMSON JUDSON AVE
PC DOT SPECIAL SIGNS
SPONSOR-AD-1, 5' OC - 7' OFFSET FROM DP
5 EACH END OF ROADWAY MARKERS
D-1, 5' OC - 7' OFFSET FROM DP
CENTERED WITH ADAMSON JUDSON AVE

Approved 11/30/2018

SCALE: 1"=40'

STA 1445, 18.5' LT BY CARRILL PL
STREET SIGNS, D-3

STREET SIGNS, D-3

STREET SIGNS, D-3

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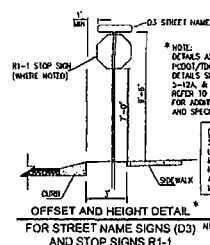
STREET SIGNS, D-3

SIGNING GENERAL NOTES

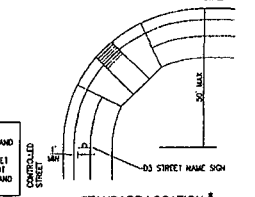
1. ALL EQUIPMENT, MATERIALS AND CONSTRUCTION SHALL MEET OR EXCEED THE REQUIREMENTS CONTAINED IN THE CURRENT PAG 2015 STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS AND THE STANDARD DETAILS FOR PUBLIC IMPROVEMENTS. THE SPECIAL PROVISIONS AND THE PLANS.
2. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE LATEST EDITION OF THE PIMA COUNTY/CITY OF TUCSON TRAFFIC SIGNING DESIGN MANUAL, THESE PLANS, AND THE SPECIAL PROVISIONS.
3. SIGNS MAY BE MODIFIED AND LOCATIONS ADJUSTED TO FIT CONDITIONS AT THE DISCRETION OF THE TRAFFIC ENGINEER.
4. THE DESIGN SPEED FOR THE NEW TUCSON UNIT 5 PHA ROAD IS 25 MPH. THE POSTED SPEED LIMIT IS 25 MPH. SIGN PLACEMENT SHALL BE BASED ON THE POSTED SPEED LIMIT. THE POSTED SPEED LIMIT IS 30 MPH FOR CAMINO DEL TORO.
5. POST LOCATIONS SHALL BE FOR THE LATEST EDITION OF THE PIMA COUNTY/CITY OF TUCSON TRAFFIC SIGNING DESIGN MANUAL. THE CONTRACTOR SHALL VERIFY ACTUAL POST LOCATIONS.
6. ALL POSTED SIGNS SHALL BE INSTALLED IN A CONCRETE FOUNDATION, UNLESS OTHERWISE DIRECTED BY THE TRAFFIC ENGINEER.
7. ALL SIGN STATION LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ACTUAL SIGN LOCATIONS WITH THE TRAFFIC ENGINEER PRIOR TO THE INSTALLATION OF ALL SIGNS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH BLUE STAMP, FOR INSTALLING ALL TRAFFIC SIGNS IN THE FIELD AND FOR MAINTAINING ALL SIGNS UNTIL PROJECT IS APPROVED FOR "CONSTRUCTION ACCEPTANCE" BY PIMA COUNTY (FULLY OPEN TO TRAFFIC). ALL SIGNS LIST HEREIN ARE COMPLETED AND ONE YEAR WARRANTY BEGINS.
9. ALL OVERHEAD MOUNTED SIGNS SHALL BE DRAWING GRADE SHEETING, TYPE III. ALL SIGNS SHALL BE FLUORESCENT YELLOW/REFLECTIVE DIAMOND GRADE SHEETING, TYPE III. ALL OTHER SIGNS SHALL BE HIGH INTENSITY PRISMATIC SHEETING, TYPE IV. ALL OTHER MOUNTED SIGNS SHALL HAVE AN ANTI-GLARE COATING APPLIED TO FRONT FACE. AN ANTI-GLARE FILM OR COATING.
10. ALL NEW SIGNS SHALL HAVE A 6000 GAUGE, ANODIZED ALUMINUM BACKING UNLESS OTHERWISE NOTED.
11. PRIOR TO DISMANTLING ANY TRAFFIC SIGN, A SIGN CONDITION INVENTORY OF ALL EXISTING SIGNS SHALL BE CONDUCTED BY THE CONTRACTOR AND PROVIDED TO THE SIGN SHOP SUPERVISOR (520-724-3411). INVENTORY SHALL INCLUDE CURRENT SIGN LOCATION AND CONDITION, INCLUDING ANY EXISTING DAMAGE OR DEFECTS.
12. ALL SIGNS AND POSTS BEING RE-USED ON THIS PROJECT SHALL BE STOCKPILED IN A MANNER TO AVOID DAMAGE AND MAINTAIN THE INTEGRITY OF THE SIGNS. "SAFE STORAGE OF STOCKPILE AND PAYMENT FOR DAMAGE TO STOCKPILE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR."
13. ALL SIGNS AND POSTS NOT BEING RE-USED ON THE PROJECT SHALL BE DISMANTLED, SHIPPED AND DELIVERED TO THE OWNER (CITY OR COUNTY) BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE STORAGE AT THE CONSTRUCTION SITE UNTIL DELIVERY, AND THE SAFE DISMANTLING OF THE SALVAGED MATERIAL. INVENTORY OF DELIVERY SHALL BE MADE AT LEAST TWO WORKING DAYS PRIOR TO DELIVERY (8 AM HOURS). PIMA COUNTY SIGN SHOP 1313 S. WILSON ROAD (520-724-3367), MON-FRIDAY 9AM-5PM.

PAVEMENT MARKING GENERAL NOTES

1. ALL EQUIPMENT, MATERIALS AND CONSTRUCTION SHALL MEET OR EXCEED THE REQUIREMENTS CONTAINED IN THE CURRENT PAG 2015 STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS, THE SPECIAL PROVISIONS AND THE APPROVED PLANS. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVEMENT MARKING DESIGN MANUAL AND APPLICABLE AMENDMENTS.
2. THE STRIPING CONTRACTOR SHALL CONTACT THE PIMA COUNTY PAVEMENT MARKING SUPERVISOR (520-724-3424) AT LEAST THREE WORKING DAYS IN ADVANCE OF ANY PAVEMENT MARKING LAYOUT BEING INSTALLED TO SCHEDULE INSPECTION AND APPROVAL OF PAVEMENT MARKINGS DURING NORMAL BUSINESS HOURS MONDAY THRU FRIDAY, STATE HOLIDAYS EXCLUDED.
3. UPON APPROVAL OF THE PAVEMENT MARKING LAYOUT, THE PIMA COUNTY PAVEMENT MARKING SUPERVISOR WILL ISSUE WRITTEN AUTHORIZATION TO CONTRACTOR TO PROCEED WITH INSTALLING ALL PAVEMENT MARKINGS AND ASSOCIATED REFLECTIVE RAISED PAVEMENT MARKINGS.
4. THE PAVEMENT MARKING MATERIALS MAY BE MODIFIED AS DIRECTED AND APPROVED BY THE TRAFFIC ENGINEER OR INOR OTHERWISE. THE DESIGN SPEED FOR THE NEW TUCSON UNIT 5 PHA ROAD IS 25 MPH. THE DESIGN VEHICLE IS M4-4B. THE POSTED SPEED LIMIT IS 25 MPH FOR NEW TUCSON UNIT 5. THE POSTED SPEED LIMIT IS 30 MPH FOR CAMINO DEL TORO.
5. ALL LANE DIMENSIONS ARE MEASURED FROM THE CENTER OF LANE LINE, CENTER OF DOUBLE LANE LINE, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
6. THE PAVEMENT MARKING DIMENSIONS ARE SOLELY BASED ON THE DIMENSIONS, APPLICABLE MARKING DETAILS, AND SPECIFIED PAVEMENT MARKING MATERIALS WHEN INSTALLING PAVEMENT MARKINGS, SYMBOLS, LETTERS, AND WORDS.
7. PAINTED LANE LINE STRIPING SHALL BE 15 MILS (0.015") THICK, WATER BASED PAINT PLACED ON THE FINAL PAVEMENT SURFACE BEING COMPLETED. ALL PREVIOUSLY EXISTING LANE LINE STRIPING SHALL BE REMOVED PRIOR TO THE FINAL PAVEMENT SURFACE BEING COMPLETED. PAINTED STRIPES AND LETTERS SHALL BE APPLIED AT THE SAME TIME AS THE PAINTED STRIPING, WITH THE EXCEPTION OF ONE LANE SYMBOLS AND WORDS (SUCH AS STOP, AHEAD, ONLY, ETC.).
8. THE FINAL LONGITUDINAL STRIPING SHALL BE 90 MILS (0.090") THICK, EXTENDED REFLECTORIZED STRIPING PLACED OVER THE PAINTED LANE LINE STRIPING WITH A SINGLE DROP OF 10 POUNDS PER 100 SQUARE FEET OF ASPHALT OR 147-13 TYPE I GLASS BEADS. THE FINAL LONGITUDINAL STRIPING SHALL BE PLACED WITHIN 21" TO 30" CALIBER DAYS OF THE FINAL PAVEMENT SURFACE BEING COMPLETED. ALL PREVIOUSLY EXISTING LANE LINE STRIPING SHALL BE REMOVED PRIOR TO THE FINAL LONGITUDINAL STRIPING.
9. ALL FINAL TRANSVERSE STRIPING, INCLUDING SYMBOLS AND LETTERS, SHALL BE 90 MILS (0.090") THICK, EXTENDED REFLECTORIZED STRIPING PLACED OVER THE PAINTED LANE LINE STRIPING WITH A SINGLE DROP OF 10 POUNDS PER 100 SQUARE FEET OF ASPHALT OR 147-13 TYPE I GLASS BEADS. THE FINAL TRANSVERSE STRIPING SHALL BE PLACED WITHIN 21" TO 30" CALIBER DAYS OF THE FINAL PAVEMENT SURFACE BEING COMPLETED. ALL PREVIOUSLY EXISTING TRANSVERSE STRIPING SHALL BE REMOVED PRIOR TO THE FINAL TRANSVERSE STRIPING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT AND INSTALLATION OF PAVEMENT MARKINGS ON THE FINAL SURFACE COURSE FOLLOWING ONE CONTROL LINE PER DIRECTION OF TRAVEL. CONTROL POINTS THAT HAVE BEEN SET TO NO MORE THAN 50 FEET APART ON CURVE SECTIONS AND 200 FEET IN TANGENT SECTIONS WHERE THE PAVEMENT MARKING PATTERN DOES NOT CHANGE. IF THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE FINAL SURFACE COURSE IS PLACED SO THAT THE CONSTRUCTION JOINT IS NO MORE THAN ONE FOOT OFFSET FROM THE FINAL STRIPING.
11. ALL REFLECTORIZED RAISED PAVEMENT MARKINGS (RRPM) SHALL BE INSTALLED SO THAT THE REFLECTIVE FACE OF EACH MARKER IS FACING THE DIRECTION OF TRAFFIC AND IS PERPENDICULAR TO THE DIRECTION OF TRAFFIC FLOW. TYPE C OR D PAVEMENT MARKERS SHALL BE INSTALLED SO THAT THE CLEAR (OR WHITE) REFLECTIVE FACE OF EACH MARKER IS FACING APPROACHING TRAFFIC AND PERPENDICULAR TO THE DIRECTION OF TRAFFIC FLOW TO WHICH IT APPLIES.
12. ALL REFLECTORIZED RAISED PAVEMENT MARKINGS (RRPM) OR RRPM SHALL BE INSTALLED PER THE CURRENT EDITION OF THE PAVEMENT MARKING DESIGN MANUAL AND APPLICABLE AMENDMENTS.
13. ALL REFLECTORIZED RAISED PAVEMENT MARKINGS (RRPM) OR RRPM SHALL BE INSTALLED PER THE CURRENT EDITION OF THE PAVEMENT MARKING DESIGN MANUAL AND APPLICABLE AMENDMENTS.
14. ALL REFLECTORIZED RAISED PAVEMENT MARKINGS (RRPM) OR RRPM SHALL BE INSTALLED PER THE CURRENT EDITION OF THE PAVEMENT MARKING DESIGN MANUAL AND APPLICABLE AMENDMENTS.
15. ALL REFLECTORIZED RAISED PAVEMENT MARKINGS (RRPM) OR RRPM SHALL BE INSTALLED PER THE CURRENT EDITION OF THE PAVEMENT MARKING DESIGN MANUAL AND APPLICABLE AMENDMENTS.
16. ALL REFLECTORIZED RAISED PAVEMENT MARKINGS (RRPM) OR RRPM SHALL BE INSTALLED PER THE CURRENT EDITION OF THE PAVEMENT MARKING DESIGN MANUAL AND APPLICABLE AMENDMENTS.
17. FOR SPECIAL DEVELOPMENT PROJECTS, THE DESIGN CONSULTANT/PROJECT MANAGER SHALL BE REQUIRED TO PRODUCE AS-BUILT STRIPING PLANS WITHIN 90 DAYS OF STRIPING COMPLETION.
18. UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE INSTALLED BY THE CONTRACTOR.
19. UPON FINAL INSPECTION AND ACCEPTANCE OF THE FINAL PAVEMENT MARKING LAYOUT, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT TO THE CONTRACTOR AND PIMA COUNTY BY THE TRAFFIC ENGINEER OR DESIGNATED REPRESENTATIVE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL STRIPING UNTIL PROJECT IS APPROVED FOR "CONSTRUCTION ACCEPTANCE" BY PIMA COUNTY (FULLY OPEN TO TRAFFIC). ALL PUNCH LIST ITEMS ARE COMPLETED, AND THE ONE-YEAR WARRANTY BEGINS. IF THE PAVEMENT MARKING MATERIAL MANUFACTURER OFFERS A LONGER WARRANTY THE CONTRACTOR SHALL TRANSFER THAT WARRANTY TO PIMA COUNTY.
21. THE PAVEMENT MARKING DESIGN MANUAL IS AVAILABLE ONLINE.

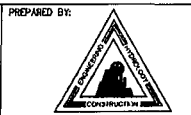


NOTE: DETAILS AS ADAPTED FROM PCDOT/DOOT SIGNING MANUAL, DETAILS SHT 5-10, 5-11, 5-12A, & 5-12B. REFER TO NOTED MANUAL AND DTLS FOR ADDITIONAL INFORMATION, NOTES, AND SPECIFICATIONS.



STANDARD LOCATION *
FOR STREET NAME SIGNS (D3) AT INTERSECTIONS

P17SC00016



PREPARED BY:
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PUBLIC PAVING & PRIVATE GRADING PLANS
NEW TUCSON UNIT 5
LOTS 98-115, 176-191 & 193-250
BK17 PG51 M&P
LOCATED IN A PORTION OF SEC 14, T17S, R16E,
GASPARI, PIMA COUNTY, ARIZONA

NO.	BY	DATE	REVISION	APPROV.	DATE
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EXPIRES 6-30-17

DESIGNED BY: GREG CARLSON

CHECKED BY: GREG CARLSON

DATE: 11/30/2018