



BOARD OF SUPERVISORS AGENDA ITEM REPORT

Requested Board Meeting Date: 10/06/2020

Title: Project Name: New Tucson Unit 5.3
Lots: 1-7, 20-55, 131-136
Plan #: P16SC00035
Owner/Developer: D.R. Horton

Introduction/Background:

Acceptance of the above referenced Project/Roadway into the Pima County Maintenance System.

Discussion:

Project/Roadway Improvements have been completed and dedicated to Pima County and Recorded as Public Right-of-Way. Recommendation is made to accept the attached roadways into the Pima County Maintenance System.

Conclusion:

If Approved:

Public improvements completed adjacent to these Subdivision Lots and/or Roadway will be maintained by the Pima County Department of Transportation.

If Denied:

Recently completed improvements to the above referenced Project/Roadway will not be maintained by the Pima County Department of Transportation.

Recommendation:

Acceptance of the attached roadways/subdivision improvements into the Pima County Maintenance System.

Fiscal Impact:

No cost to the Department for these improvements. If accepted into the Maintenance System there will be a cost associated with the maintenance, however not immediately since it is new construction.

Board of Supervisor District:

☐ 1 ☐ 2 ☐ 3 ☒ 4 ☐ 5 ☐ All

Department: Transportation Telephone: 520-724-6410

Contact: Brian Crowninshield Telephone: 520-724-2323

Department Director Signature/Date: Adam Alvarez 8/28/2020

Deputy County Administrator Signature/Date: [Signature] 9/1/2020

County Administrator Signature/Date: C. DeLuca 9/1/2020

Date: August 25, 2020

To: Ana M. Olivares, P.E.
Director

From: Brian Crowninshield, Manager
ROW Management *BC*

Robert D. Johnson *RJ*
Division Manager
Department of Transportation

Subject: Project/Roadway: New Tucson Unit 5.3
Lots: 1-7, 20-55, 131-136
Plan Number: P16SC00035
Developer/Owner: D.R. Horton

We have performed a Final Inspection and found the improvements to be satisfactory and in general conformance to the plans and specifications. These roadways should be submitted to the Board of Supervisors for acceptance into the County Maintenance System.



LOCATION MAP

LOCATED IN A PORTION OF
SEC. 14, T.7S., R.7E., GARZA COUNTY,
PIMA COUNTY, ARIZONA.

ALL EXISTING BOUNDARY, EASEMENT, AND HORIZONTAL CONTROL/CENTERLINE INFORMATION SHOWN IS BASED ON THE PLAT FOR KCM TUCSON, UNIT 6, LOTS 1-312 AS RECORDED IN BOOK 17, PAGE 51 OF THE PIMA COUNTY RECORDERS' OFFICE. EXISTING TOPOGRAPHY, UTILITIES, AND OTHER INFORMATION SHOWN ON THIS PLAN IS BASED ON A "TOPOGRAPHICAL SURVEY" PREPARED BY CARDINAL LAND SURVEYING, 425 S. PLUMER, TUCSON, AZ 85710, JOB NO. 01-66, AS WELL AS FROM PLANS, BASE MAPPING, OR ADDITIONAL SURVEYS.

THE BASIS OF ELEVATION FOR THIS PLAN AS PROVIDED ON THE ABOVE-MENTIONED
CARDINAL SURVEY IS AS FOLLOWS: CITY OF TUCSON POINT PN71, A 3.25" ALUMINUM
DISK AT THE NORTHEAST CORNER OF SECTION 23, T16S, R15E, NAD83 DATUM.

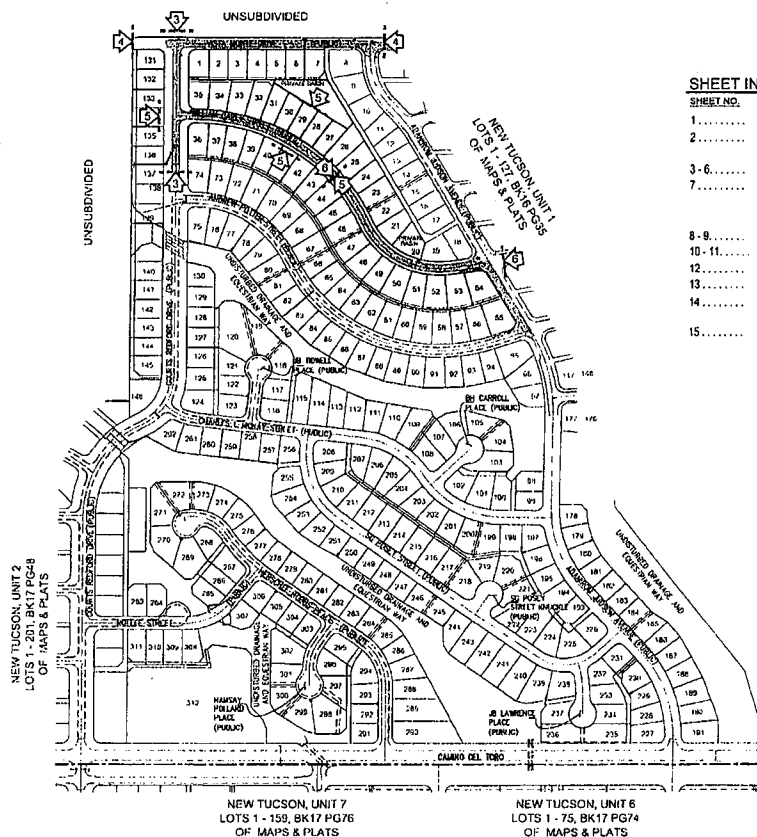
Said ELEVATION BEING: 3083.85

THE BASIS OF BEARING FOR THIS PLAT AS PROVIDED ON THE AFOREMENTIONED CARDINAL SURVEY IS AS FOLLOWS: THE NORTH LINE OF SECTION 23 AS SHOWN ON THE PLAT OF NEW TUSCON, UNIT 1 (LOTS 1-455), BOOK 17, PAGE 84 OF MAPS AND PLATS, PIMA COUNTY RECORDER'S OFFICE.

Said bearing being: NORTH 89°58'33" WEST.

RAW CUT: 450 C.Y. SEE NOTE BELOW
RAW FILL: 450 C.Y. SEE NOTE BELOW
NOTE: THIS IS AN ESTIMATE ONLY.
THE CONTRACTOR IS RESPONSIBLE
FOR THEIR OWN EARTH WORK VALUES.

EARTHWORK NOTE:
EARTHWORK FOR THESE PUBLIC PAVING PLANS IS ESTIMATED
TO BE LESS THAN 50 C.Y. TOTAL. THE GRADING FOR STREETS
AND ASSOCIATED DRAINAGEWAY IMPROVEMENTS HAS
PREVIOUSLY BEEN COMPLETED PER THE NEW TUCSON UNIT 5
MASS GRADING PLAN, P1204-386.



SHEET NO.	DESCRIPTION
1	COVER SHEET, SITE KEYMAP, LEGEND
2	PAVING NOTES, GRADING NOTES,
	TYPICAL STREET SECTION, CURB TRANSITION DETAILS
3-6	STREETS PLAN AND PROFILE
7	VISTA MONTE DR SHOULDER GRADING
	VISTA MONTE DR/ADANIROM JUDSON AVE INTERSECTION
	WILLIAM CAREY STADIANIROM JUDSON AVE INTERSECTION
8-9	CONCRETE CHANNEL, BASIN
10-11	CATCH BASIN DETAILS
12	GENERAL NOTES, DETAILS
13	SUPPLEMENTARY GRADING PLAN US PH3 LOTS
14	WILLIAM CAREY STADIANIROM JUDSON AVE
	ANDREW POTTER ST/ADANIROM JUDSON AVE INTERSECTION GRADES
15	STREET SIGN PLAN

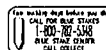
TRUST NO 1025335
TITLE SECURITY AGENCY LLC
A DELAWARE LIMITED LIABILITY C
2730 E. BROADWAY BLVD, SUITE 1
TUCSON, AZ 85716
CRANE SLOAN, TRUST OFFICER

NEW TUCSON, UNIT 5
HOMEOWNERS ASSOCIATION
C/O FERRY KLEPP
2200 E RIVER ROAD
SUITE 105
TUCSON, AZ 85718
520-577-7807

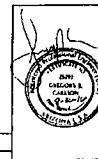


	IMPROVED PAVEMENT AND CURB
	EXISTING PAVEMENT AND CURB
	EXISTING WATERWAY, WALL, PROTECTIVE FAC. ASSEMBLY, AND RELEASE VALVE
	EXISTING SLOPE AND MANHOLE
	EXISTING UTILITY SERVICES E.G., GAS, TEL, OR
	RIGHT OF WAY/PROPERTY LINE
	STREET CENTERLINE
	EXISTING EASEMENT AS NOTED
	NEW EASEMENT AS NOTED
	EXISTING CONTOURS
	FINISH CONTOURS
	RIP RAP
	EXISTING/NEW SURVEY MONUMENT
	BASIC/OLD FENCING
	BOLLARDS
	SIGNS/NAMEWAYS
	ROW, R/W
	RIGHT OF WAY
	PUE
	PUBLIC UTILITY FACILITIES
	GRI
	GRADE BREAK
	C, L, E, TP
	CUTTER, TOP CURB, EDGE PAVEMENT
	VC
	VERTICAL CURVE
	HVC, EVC, PIV
	HIGH/LOW VERTICAL CURVE POINT
	VERTICAL INTERSECTION
	DOE, EOR
	DEGREE/END CURB RETURN
	WP-POINT
	WP-POINT
	237N
	RADIUS, DIVERSION AS NOTED
	PG&E
	POINT
	RADIUS, DIVERSION AND CURVE
	PT
	POINT OF TANGENCY
	WP/AD
	HIGH POINT/LOW POINT
	SHEET INDEX
	SHEET INDEX
	FINISHED PAD ELEVATION
	SIGHT VISIBILITY TRIANGLE (SVT)

P16SC00035



QAC	08-17-18	REVISE GRADE FOR CB-3 AND CB-4. SHEET 11
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PREPARED BY	
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GREG CARLSON ENGINEERING, L.L.C.
1321 E. Broadway Blvd., Tucson, AZ 85719
(520)-624-0070 fax (520)-624-4117
e-mail: greg@gregcarlson.com

PUBLIC PAVING & PRIVATE GRADING PLANS
FOR
NEW TUCSON UNIT 5
LOTS 1-7, 20-55, 131-136
8K17 PG51 M&P
LOCATED IN A PORTION OF SEC 14, T17S, R6E,
GASRD, PIMA COUNTY, ARIZONA

HORIZ: $1^{\circ}=200'$ REF: _____
 VERT: N/A JOB NO: 15-049

①

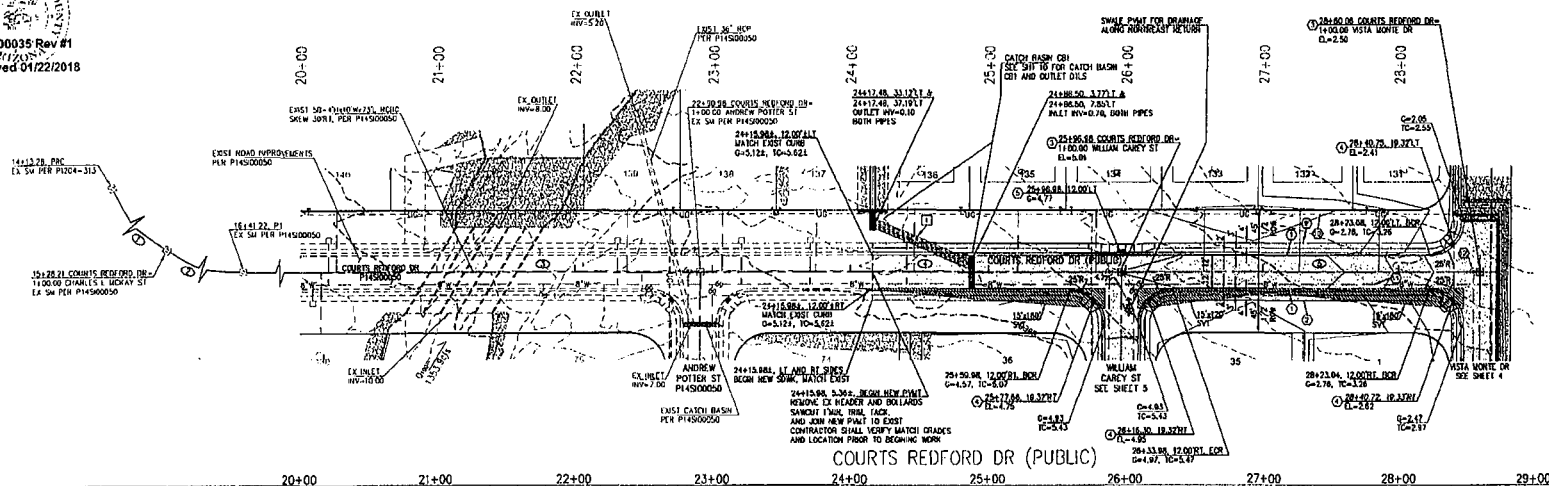


P16SC00035 Rev #1
Approved 01/22/2018

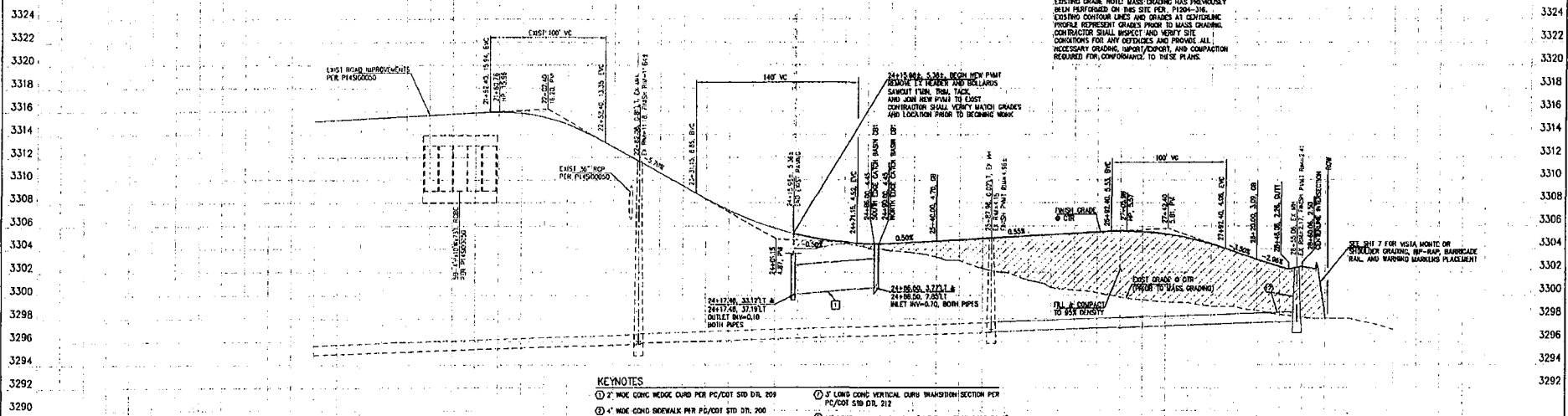
STREET CENTERLINE CURVE DATA			
CURVE	DELTA	RADIUS	ARC LENGTH
CD 1	37.50°	200.00'	114.87'
CD 2	37.50°	200.00'	114.87'

STREET CENTERLINE LINE DATA			
LINE	BEARING	LENGTH	STATION
CD 1	0°00'00"	449.12'	20+00.00
CD 2	0°00'00"	300.00'	20+449.12
CD 3	0°00'00"	288.56'	20+749.12

STORM SEWER PIPE KEYNOTES
1. 2'-30" RCP, 75.00% C.A. @ 0.00%



NOTE: ALL STATIONING IS ALONG STREET CENTERLINE UNLESS OTHERWISE NOTED



KEYNOTES

- 1. 2" WIDE CONC. MEDGE CURB PER PC/DT STD DTL 209
- 2. 4" WIDE CONC. SIDEWALK PER PC/DT STD DTL 200
- 3. INSTALL SURVEY MONUMENT PER PC/DT STD DTL 103
- 4. CONSTRUCT CURB ACCESS RAMP @ CENTER OF CURB RETURN PER PC/DT STD DTL 203, 2003 EDITION
- 5. CONSTRUCT "WID-BLOCK" CURB ACCESS RAMP PER PC/DT STD DTL 207, (REVISED 04/13), SHT 4/8 ALTERNATIVE, SHT 2 FOR SIDEWALK TRANSITION
- 6. 10' LONG MEDGE CURB TO VERTICAL CURB TRANSITION PER PC/DT STD DTL 210
- 7. 3' LONG CONC. VERTICAL CURB TRANSITION/SECTION PER PC/DT STD DTL 212
- 8. 10' LONG CURB TRANSITION @ MEDGE CURB TO 6" REVEAL PER DTL SHT 2
- 9. 4' LONG MEDGE CURB TO VERTICAL CURB & GUTTER TRANSITION PER DTL SHT 2
- 10. EXIST. TRAY UTILITY, SEE UTILITY NOTES SHT 2
- 11. EXIST. WATER, SEE UTILITY NOTES SHT 2
- 12. EXIST. SEWER/SEWER MAINLINE, SEE UTILITY NOTES SHT 2



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PUBLIC PAVING & PRIVATE GRADING PLANS
NEW TUCSON UNIT 5
LOTS 1-7, 20-55, 131-136
BK17 PG61 MAP
LOCATED IN A PORTION OF SEC 14, T17S, R16E,
GADSDEN, PIMA COUNTY, ARIZONA

SCALE: HORIZ. 1"=40' VERT. 1"=4'
DATE: 02/21/2018

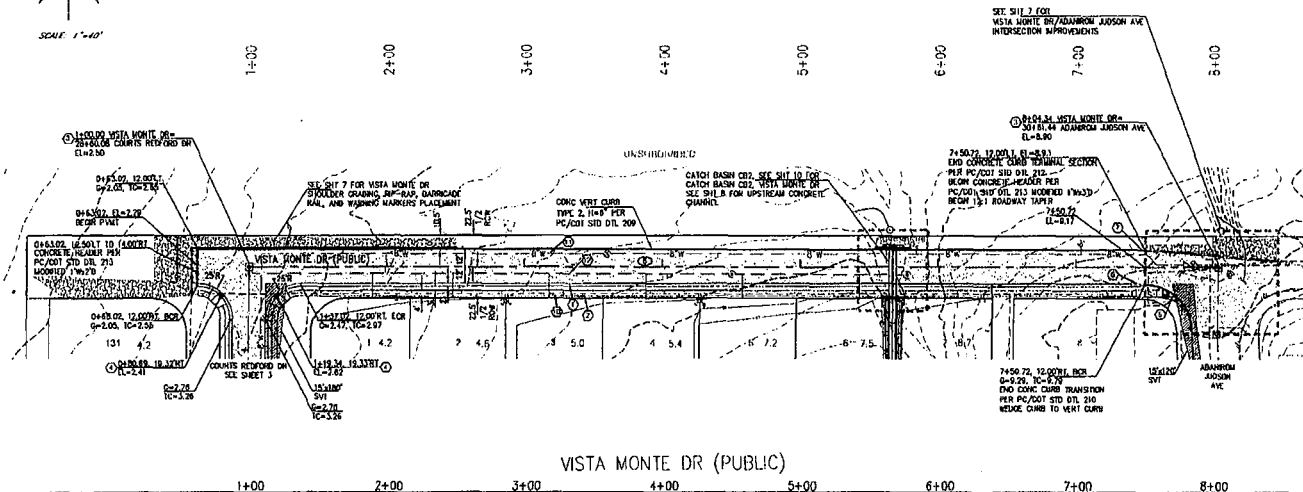


P16SC00035 Rev #1
Approved 01/22/2018

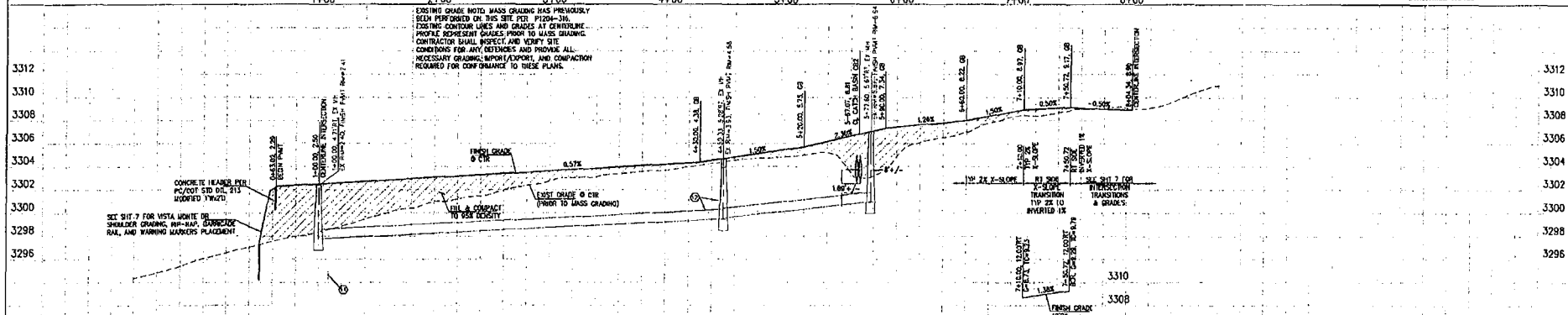


SCALE 1"=40'

STREET CENTERLINE LINE DATA		
LINE	BEARING	DISTANCE
(1)	S 89°58'04" E	1704.34'



NOTE: ALL STATIONING IS ALONG STREET CENTERLINE UNLESS OTHERWISE NOTED



KEYNOTES

- 1" WIDE CONC WEDGE CURB PER PC/COT STD DTL 209
- 4" WIDE CONC SHOULDER PER PC/COT STD DTL 200
- INSTALL SURVEY MONUMENT PER PC/COT STD DTL 103
- CONSTRUCT CURB ACCESS RAMP @ CENTER OF CURB RETURN PER PC/COT STD DTL 207, 2003 EDITION
- CONSTRUCT TYPE 2 CURB ACCESS DIRECTIONAL RAMP PER PC/COT STD DTL 207, (REVISED 04/12), SHIT 3/3, ALTERNATE
- 10' LONG WEDGE CURB TO VERTICAL CURB TRANSITION PER PC/COT STD DTL 210
- 3' LONG CONC VERTICAL CURB TRANSITION SECTION PER PC/COT STD DTL 212
- 10' LONG CURB TRANSITION 8" REVEAL WEDGE CURB TO 0" REVEAL PER SHIT 2
- 8' LONG WEDGE CURB TO VERTICAL CURB & OUTLET TRANSITION PER DTL SHIT 2
- EXIST TYPICAL UTILITY SEE UTILITY NOTES SHIT 2
- EXIST WATER/SEE UTILITY NOTES SHIT 2
- EXIST SEWER/SEE UTILITY NOTES SHIT 2



NO	BY	DATE	REVISION	APP	DATE
1	GC	01/22/2018			



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PUBLIC PAVING & PRIVATE GRADING PLANS
FOR
NEW TUCSON UNIT 6
LOTS 1-7, 20-55, 131-136
BK17 PG51 MAP
LOCATED IN A PORTION OF SEC 14, T17S, R16E,
QASRM, PINAL COUNTY, ARIZONA

HORIZ. 1"=40' VERT. 1"=4'
SHEET NO. 15-049

4/15



P16SC00035 Rev #1
Approved 01/22/2018

SCALE: 1"=40'

STREET CENTERLINE CURVE DATA				STREET CENTERLINE LINE DATA			
CURVE	DELTA	RADIUS	ARC LENGTH	LINE	BEARING	DISTANCE	
1	125.84°	100.00'	40.84'	1	N. 87°21'30" E.	144.62'	
2	73.71°	300.00'	97.43'				

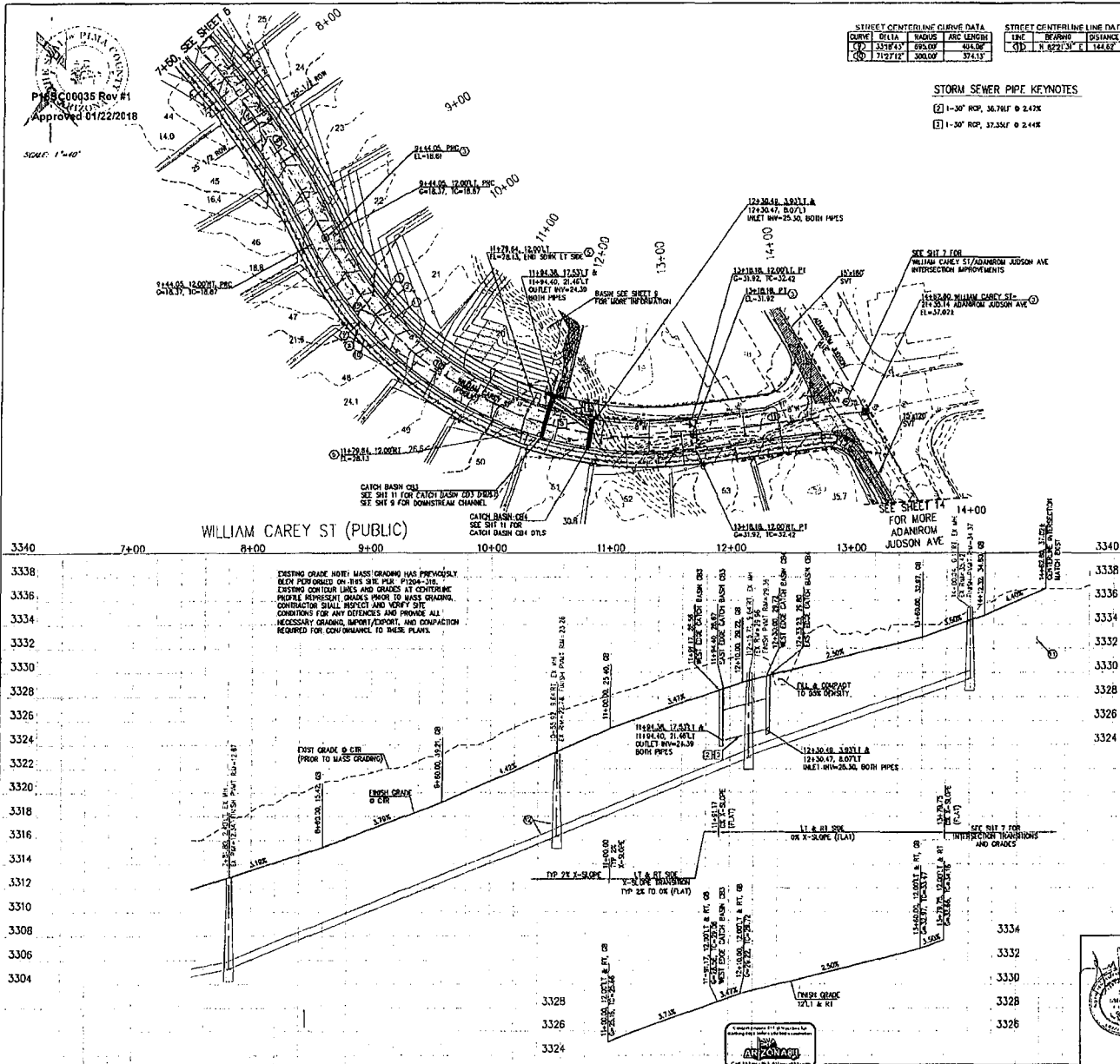
STORM SEWER PIPE KEYNOTES

- 1-30" RCP, 36.78' @ 2.47%
- 1-30" RCP, 37.35' @ 2.44%

KEYNOTES

- 1' WIDE CONC WEDGE CURB PER PC/DOT STD DTL 209
- 4' WIDE CONC SIDEWALK PER PC/DOT STD DTL 200
- INSTALL SURVEY MONUMENT PER PC/DOT STD DTL 103
- CONSTRUCT CURB ACCESS RAMP @ CENTER OF CURB RETURN, PER PC/DOT STD DTL 202, 200, 2003 EDITION
- CONSTRUCT TWO-BLOCK CURB ACCESS RAMP PER PC/DOT STD DTL 207, 2003 EDITION, SHY 4/5 ALTERNATIVE. SEE SHIT 2 FOR SIDEWALK TRANSITION
- 10' LONG WEDGE CURB TO VERTICAL CURB TRANSITION PER PC/DOT STD DTL 210
- 3' LONG CONC VERTICAL CURB TRANSITION SECTION PER PC/DOT STD DTL 212
- 10' LONG CURB TRANSITION 8" REVEAL WEDGE CURB TO 0" REVEAL PER DTL SHIT 2
- 8' LONG WEDGE CURB TO VERTICAL CURB & GUTTER TRANSITION PER DTL SHIT 2
- EXIST DRY UTILITY, SEE UTILITY NOTES SHIT 2
- EXIST WATER, SEE UTILITY NOTES SHIT 2
- EXIST SLOPE/SEWER MANHOLE, SEE UTILITY NOTES SHIT 2

NOTE: ALL STATIONING IS ALONG STREET CENTERLINE UNLESS OTHERWISE NOTED



P16SC00035

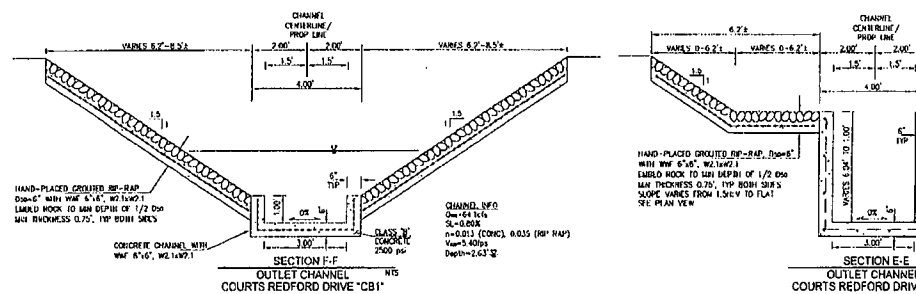
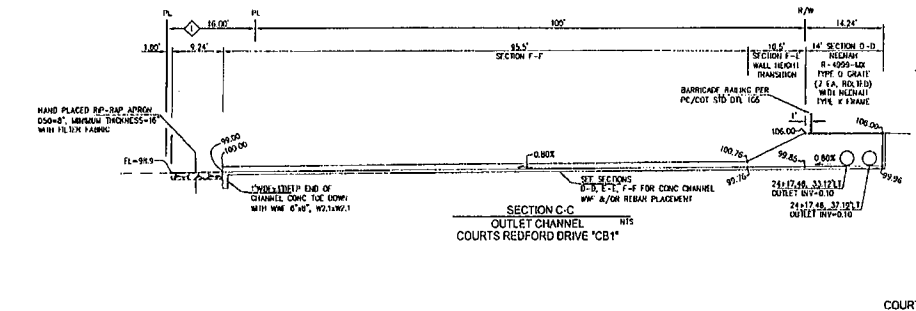
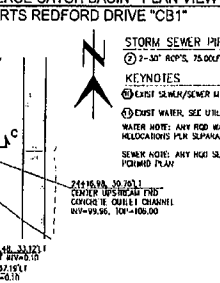
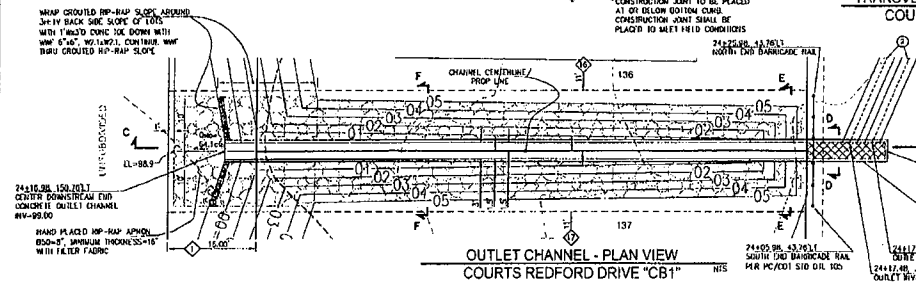
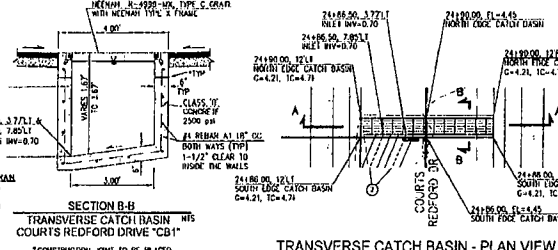
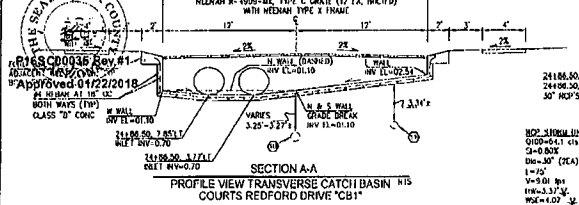
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PUBLIC PAVING & PRIVATE GRADING PLANS
FOR
NEW TUCSON UNIT 6
LOTS 1-7, 20-65, 131-138
BKI7 PG51 MAP
LOCATED IN A PORTION OF SEC 14, T7S, R16E,
GASPARA, PIMA COUNTY, ARIZONA

DATE: 06/11/2018

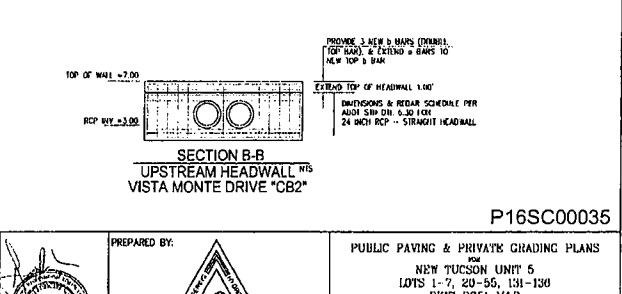
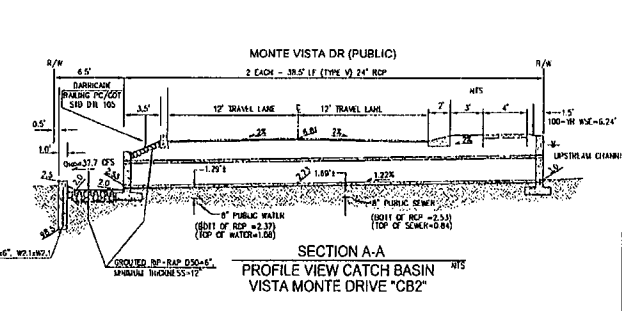
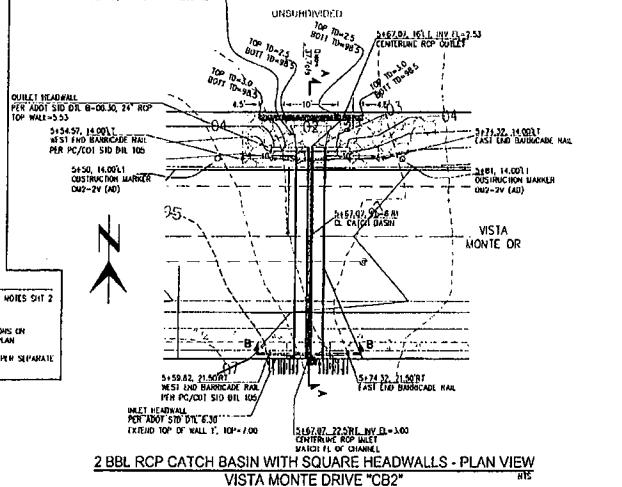
CB1



NOTES AND SPECIFICATIONS

1. ALL PERMIT POSTS ORIGINATED TO ALFA PER DKT 17965, PG 293
2. LOT 136, PRIVATE SLOPE AND DRAINAGE ESMT, SEE NO.
3. LOT 137, PRIVATE SLOPE AND DRAINAGE ESMT, SEE NO.

CB2

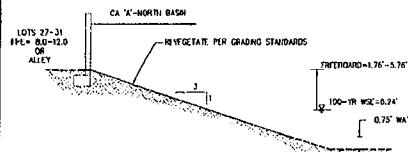


NOTES AND SPECIFICATIONS

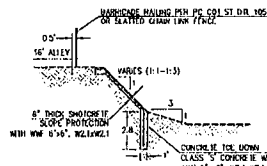
1. ALL PERMIT POSTS ORIGINATED TO ALFA PER DKT 17965, PG 293
2. LOT 136, PRIVATE SLOPE AND DRAINAGE ESMT, SEE NO.
3. LOT 137, PRIVATE SLOPE AND DRAINAGE ESMT, SEE NO.



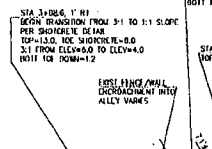
P16SC00036 Rev #1
Approved 04/22/2018



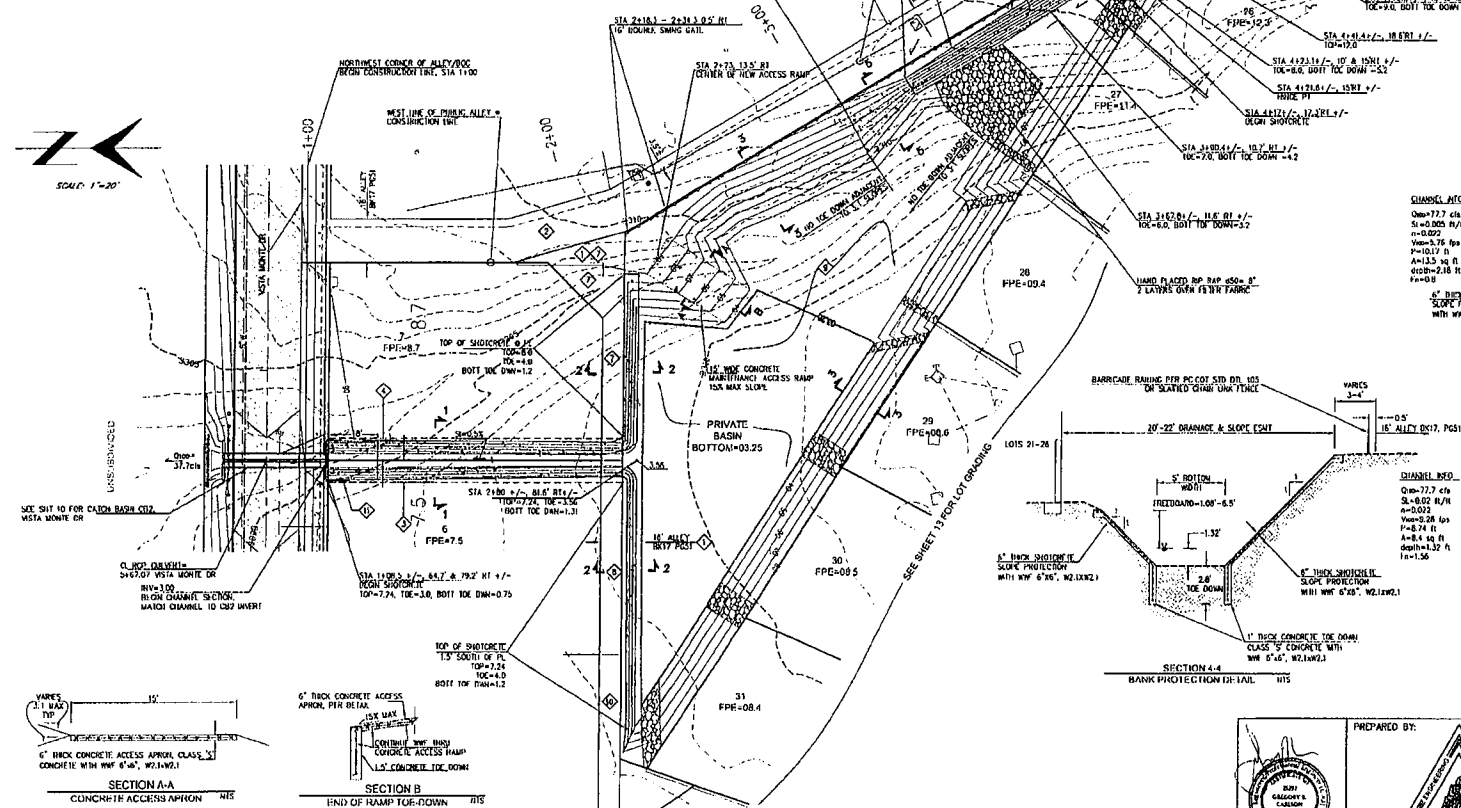
SECTION 3-2
TYPICAL GRADED SLOPE DETAIL. NTS



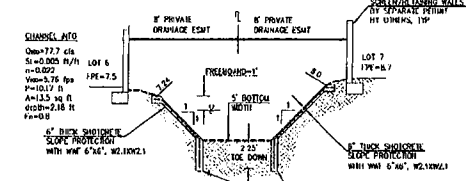
SECTION 5-5
TYPICAL TRANSITION SLOPE DETAIL. NTS



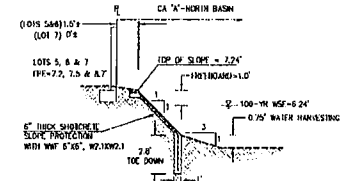
SECTION 5-6
TYPICAL TRANSITION SLOPE DETAIL. NTS



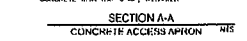
- EASEMENTS AND DEDICATIONS**
- 1' ALLEY PER BMT POS. DEDICATED TO HDA. PER DMT 12965, PG 293.
 - PORTION OF 1' ALLEY TO REMAIN PUBLIC PER DMT 12965, PG 293.
 - LOT 6, 8' PRIVATE SLOPE AND DRAINAGE EASE. SEE NO.
 - LOT 7, 8' PRIVATE SLOPE AND DRAINAGE EASE. SEE NO.
 - LOT 26, 20' PRIVATE SLOPE AND DRAINAGE EASE. SEE NO.
 - LOT 26, PRIVATE SLOPE AND DRAINAGE EASE. SEE NO.
 - PORTION OF 1' ALLEY OUT CLAIMED TO HDA PER DMT 12965, PG 293. OUT CLAIMED TO LOT 7. SEE NO.
 - PORTION OF 1' ALLEY OUT CLAIMED TO HDA PER DMT 12965, PG 293. OUT CLAIMED TO LOT 6. SEE NO.
 - COMMON AREA 'A' PER P16P700007, SEE NO.
 - PORTION OF 1' ALLEY OUT CLAIMED TO HDA PER DMT 12965, PG 293. OUT CLAIMED TO LOT 5. SEE NO.
 - LOTS 6 AND 7, 10' - 16' PUBLIC ACCESS AND MAINTENANCE (AS SHOWN) TO PINA COUNTY DEPARTMENT OF TRANSPORTATION PER DMT 12965.



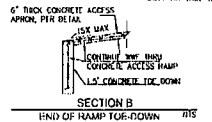
SECTION 1-1
TANK PROTECTION DETAIL. NTS



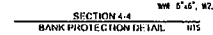
SECTION 2-2
BANK PROTECTION DETAIL. NTS



SECTION A-A
CONCRETE ACCESS APRON. NTS



SECTION B
END OF RAMP TOP-DOWN. NTS



SECTION 4-4
BANK PROTECTION DETAIL. NTS



P16SC00035

PUBLIC PAVING & PRIVATE GRADING PLANS

NEW TUCSON UNIT 6

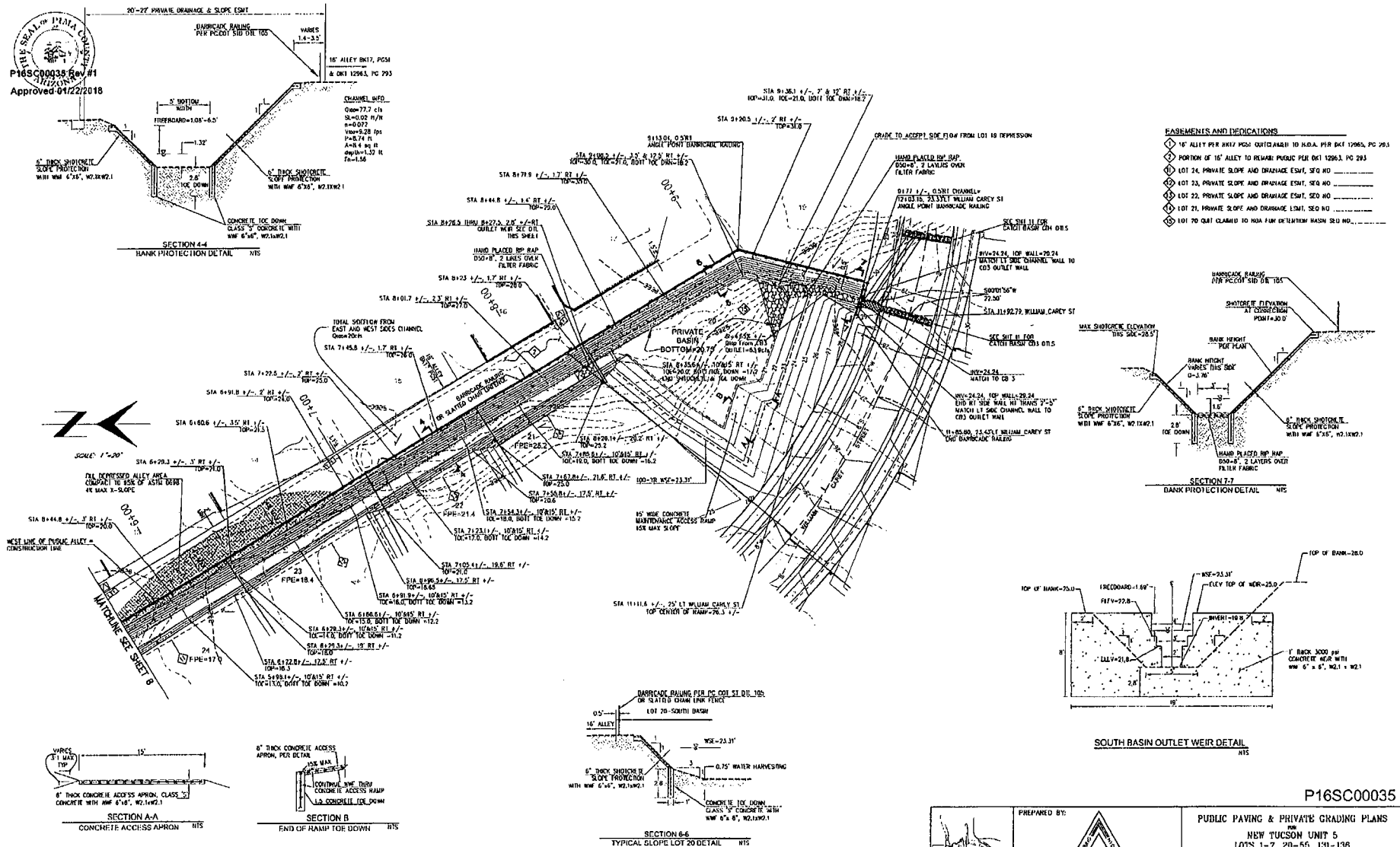
LOTS 1-7, 20-28, 31-106

UNIT 6 PGSI MAP

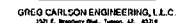
LOCATED IN A PORTION OF SEC 14, T17S, R16E, GAZDRA, PINA COUNTY, ARIZONA

DATE: 04/22/2018

SCALE: 1\"/>



P16SC00035



PUBLIC PAVING & PRIVATE GRADING PLANS
FOR
NEW TUCSON UNIT 5
LOTS 1-7, 20-55, 131-138
BK17 PG51 M&P
LOCATED IN A PORTION OF SEC 14, T17S, R16E,
G&SRM, PIMA COUNTY, ARIZONA

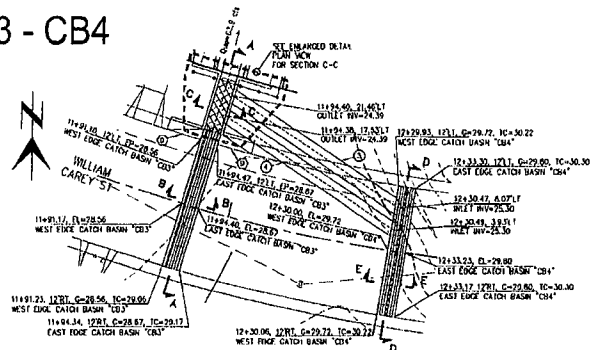
MODEL 1"=20' REF. -
 DATE N/A JOB NO. 15-049

$\frac{9}{15}$

DATE: NOV 1, 2016



CB3 - CB4



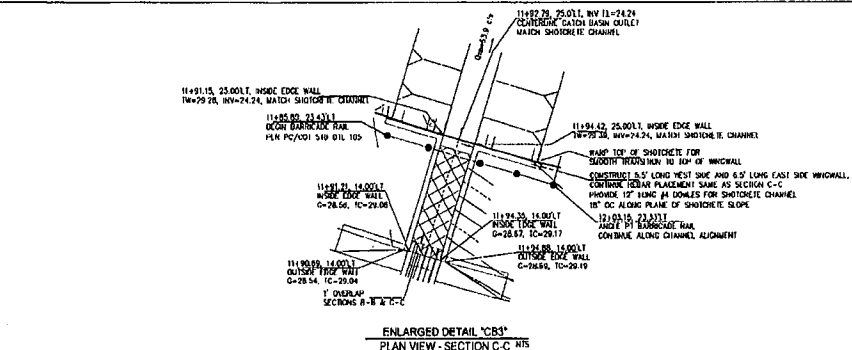
TRANSVERSE CATCH BASINS - PLAN VIEW
WILLIAM CAREY ST "CB3" & "CB4" NTS

KEYNOTES

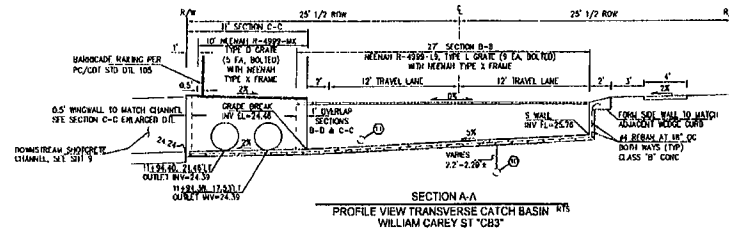
- 1- 6" LONG WEDGE CURB TO VERTICAL CURB & OUTER TRANSITION PER DET 2
- 2- EXIST SEWER/STORM MANHOLE, SEE UTILITY NOTES DET 2
- 3- EXIST WATER, SEE UTILITY NOTES DET 2
- 4- WATER NOTE: ANY ROAD WATERLINE MODIFICATIONS OR RELOCATIONS FOR SEPARATE TUCSON WATER PLAN
- 5- SEWER NOTE: ANY ROAD SEWER MODIFICATIONS PER SEPARATE POWERED PLAN

STORM SEWER PIPE KEYNOTES

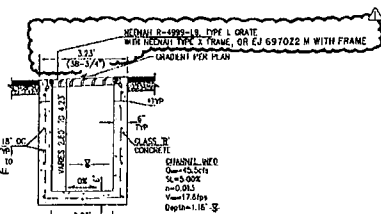
- 1- 30" RCP, 36.79' @ 2.47%
- 2- 30" RCP, 37.38' @ 2.47%



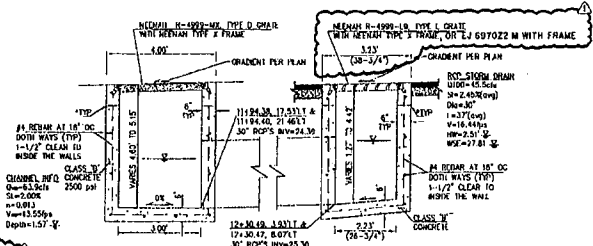
ENLARGED DETAIL "CB3"
PLAN VIEW - SECTION C-C NTS



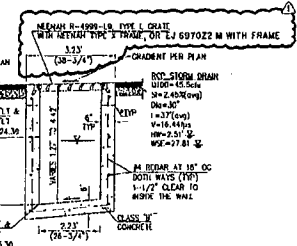
SECTION A-A
PROFILE VIEW TRANSVERSE CATCH BASIN
WILLIAM CAREY ST "CB3" NTS



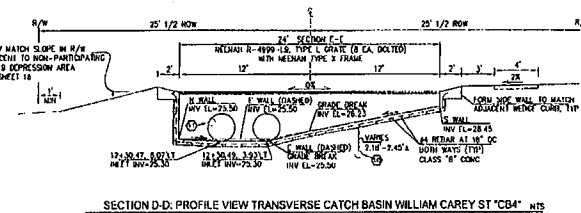
SECTION B-B
TRANSVERSE CATCH BASIN
WILLIAM CAREY ST "CB3" NTS



SECTION C-C
TRANSVERSE CATCH BASIN
WILLIAM CAREY ST "CB3" NTS

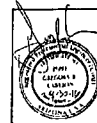


SECTION E-E
TRANSVERSE CATCH BASIN
WILLIAM CAREY ST "CB4" NTS



SECTION D-D: PROFILE VIEW TRANSVERSE CATCH BASIN WILLIAM CAREY ST "CB4" NTS

P16SC00036



PREPARED BY:



GREG CARLSON ENGINEERING, L.L.C.

PUBLIC PAVING & PRIVATE GRADING PLANS
FOR
NEW TUCSON UNIT 5
LOTS 1-7, 20-55, 131-136
UK17 P451 MAP
LOCATED IN A PORTION OF SEC 14, T17S, R18E,
GASPARA, PIMA COUNTY, ARIZONA

SCALE: H/A 1" = 10'-0" V/A 1" = 1'-0" DATE: 01/22/2018

15

GENERAL NOTES

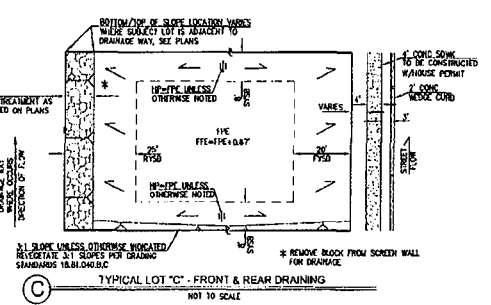
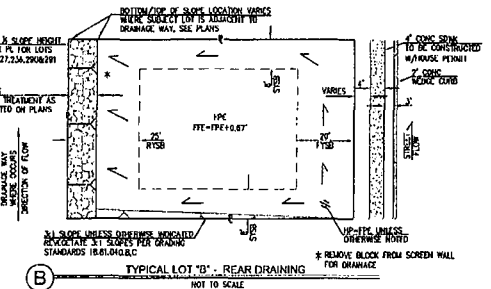
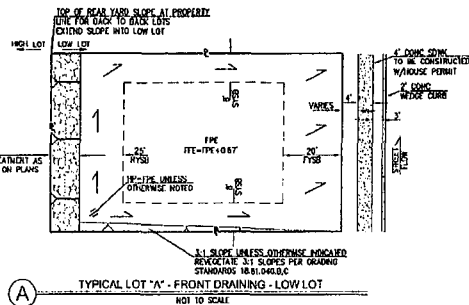
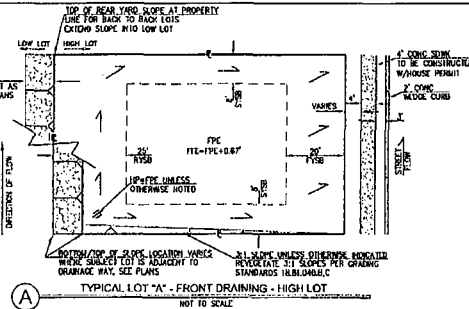
- THE CONTRACTOR SHALL MAINTAIN PROTECTION OF THE PROPERTY AND MAINTAIN REPAIR OR REPLACE, AT HIS EXPENSE ANY DAMAGE TO THE FACILITY OR SITE THAT OCCURS AS A RESULT OF HIS OR ANY OF HIS SUB CONTRACTORS OR SUPPLIERS ACTIONS.
- ALL MATERIALS AND SUB CONTRACTORS ARE TO MEET QUANTITIES AND BASE THEM ON SOLELY ON THEIR OWN ESTIMATE.
- THE LOCATION OF ALL UTILITIES SHOWN ARE CONSIDERED APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN PROTECTION OF THE PROPERTY AND MAINTAIN REPAIR OR REPLACE, AT HIS EXPENSE ANY DAMAGE TO THE FACILITY OR SITE THAT OCCURS AS A RESULT OF HIS OR ANY OF HIS SUB CONTRACTORS OR SUPPLIERS ACTIONS.
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GRADING NOTES

- AREAS TO RECEIVE FILL SHALL BE SCOURED SIX (6) INCHES, BROUGHT TO $\pm 1\%$ OPTIMUM MOISTURE, AND UNIFORMLY COMPACTED TO 95% MIN. OF THE MAXIMUM DENSITY PER ASTM D99 METHOD A, UNLESS NOTED OTHERWISE.
- GRADING REQUIREMENTS SHALL BE CLEARLY MARKED AND ALL WORK WILL BE COMPLETED TO APPROVED PROJECT LIMITS.
- THE SOIL ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTHWORK OPERATIONS INCLUDING BUT NOT LIMITED TO CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACK FILL TOGETHER WITH PLACEMENT AND COMPACTION OF FILL.
- THE GRADING CONTRACTOR SHALL CONTACT ALL COMPANIES WITH UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES INCLUDING TELEPHONE, ELECTRIC, WATER, SEWER, AND GAS LINES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR MARKED LINES NOT INDICATED ON THE PLAN OR FOR INFORMATION OBTAINED FROM OUTSIDE SOURCES. CALL BEFORE DIG (1-800-762-5348) TWO WEEKS PRIOR TO EXCAVATION.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL AREA TO ± 0.10 FEET. IF AN AREA SHOULD BE FOUND TO BE MORE THAN 0.10 FOOT OUT OF LEVEL AFTER COMPACTION AND ACCEPTANCE OF GRADING, THE CONTRACTOR SHALL RETURN AND CORRECT THE GRADING AT HIS COST TO THE OWNER.
- THE CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR ELEVATIONS OF THE WORK OR FROM PROPER PLACES UNLESS AUTHORIZED TO REMOVE THEM BY THE ENGINEER. ANY EXPENSE INCURRED IN REPLACING ANY STAKES MUST BE THE CONTRACTOR'S. HIS SURVEYOR'S MAY HAVE FAULT TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- ALL CUT AND FILL SLOPES SHALL BE 3:1 (H:V) AND NO HIGHER THAN 5 FEET, UNLESS OTHERWISE SHOWN.
- ALL CONCRETE SHALL COMPLY WITH PC/COY S99 SECTION 1000, CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- ALL WORK SHALL CONFORM TO CHANGING STANDARDS, CHAPTER 18.01 OF THE PIMA COUNTY ZONING CODE.

NOTE

ALL BOUNDARY & EASEMENT INFORMATION SHOWN HEREON IS BASED ON THE RECORDED PLAT FOR NEW TUCSON, UNIT 5 (LOTS 1-312) AS RECORDED IN BOOK 17, PAGE 51 OF THE PIMA COUNTY RECORDS/DEEDS. ALL EXISTING TOPOGRAPHY & UTILITY INFORMATION SHOWN ON THIS PLAN IS BASED ON A "TOPOGRAPHICAL SURVEY" PREPARED BY CARROLL LAND SURVEYING, 425 S. PALMER, TUCSON, AZ 85719, JOB NO. 03-14.



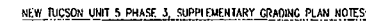
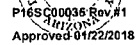
P16SC00035



NO.	BY	DATE	REVISION	APPROVED	DATE
1	GC	06/15/17			



PREPARED BY:
 PUBLIC PAVING & PRIVATE GRADING PLANS
 NEW TUCSON UNIT 5
 LOTS 1-7, 20-56, 131-136
 BK17 PG51 M&P
 LOCATED IN A PORTION OF SEC 14, T19S, R16E,
 GASTRA, PIMA COUNTY, ARIZONA
 SCALE: 1"=40'
 DATE: 06/15/17
 JOB NO. 15-042
 DATE: 06/15/17



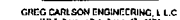
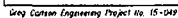
1. PILES DRIVING AND BULK PROTECTION CONSTRUCTION HAS PREVIOUSLY BEEN PERFORMED ON THIS SITE PER PLAN 2106-316, INTENT: "A. PILEWAS: WASD DRIVING PLAN FOR NEW PUSLOW, UNIT 1 LOTS 1-2, 30-53, 54-58, 59-66, 166-181, 186-316, AND NEW PUSLOW UNIT 2 LOTS 181-194, 195-202, 203-210, 211-216, 217-224, 225-232, 233-240, 241-248, 249-256, 257-264, 265-272, 273-280, 281-288, 289-296, 297-304, 305-312, 313-316, 317-324, 325-332, 333-340, 341-348, 349-356, 357-364, 365-372, 373-380, 381-388, 389-396, 397-404, 405-412, 413-420, 421-428, 429-436, 437-444, 445-452, 453-460, 461-468, 469-476, 477-484, 485-492, 493-500, 501-508, 509-516, 517-524, 525-532, 533-540, 541-548, 549-556, 557-564, 565-572, 573-580, 581-588, 589-596, 597-604, 605-612, 613-620, 621-628, 629-636, 637-644, 645-652, 653-660, 661-668, 669-676, 677-684, 685-692, 693-700, 701-708, 709-716, 717-724, 725-732, 733-740, 741-748, 749-756, 757-764, 765-772, 773-780, 781-788, 789-796, 797-804, 805-812, 813-820, 821-828, 829-836, 837-844, 845-852, 853-860, 861-868, 869-876, 877-884, 885-892, 893-900, 901-908, 909-916, 917-924, 925-932, 933-940, 941-948, 949-956, 957-964, 965-972, 973-980, 981-988, 989-996, 997-1004, 1005-1012, 1013-1020, 1021-1028, 1029-1036, 1037-1044, 1045-1052, 1053-1060, 1061-1068, 1069-1076, 1077-1084, 1085-1092, 1093-1100, 1101-1108, 1109-1116, 1117-1124, 1125-1132, 1133-1140, 1141-1148, 1149-1156, 1157-1164, 1165-1172, 1173-1180, 1181-1188, 1189-1196, 1197-1204, 1205-1212, 1213-1220, 1221-1228, 1229-1236, 1237-1244, 1245-1252, 1253-1260, 1261-1268, 1269-1276, 1277-1284, 1285-1292, 1293-1300, 1301-1308, 1309-1316, 1317-1324, 1325-1332, 1333-1340, 1341-1348, 1349-1356, 1357-1364, 1365-1372, 1373-1380, 1381-1388, 1389-1396, 1397-1404, 1405-1412, 1413-1420, 1421-1428, 1429-1436, 1437-1444, 1445-1452, 1453-1460, 1461-1468, 1469-1476, 1477-1484, 1485-1492, 1493-1500, 1501-1508, 1509-1516, 1517-1524, 1525-1532, 1533-1540, 1541-1548, 1549-1556, 1557-1564, 1565-1572, 1573-1580, 1581-1588, 1589-1596, 1597-1604, 1605-1612, 1613-1620, 1621-1628, 1629-1636, 1637-1644, 1645-1652, 1653-1660, 1661-1668, 1669-1676, 1677-1684, 1685-1692, 1693-1700, 1701-1708, 1709-1716, 1717-1724, 1725-1732, 1733-1740, 1741-1748, 1749-1756, 1757-1764, 1765-1772, 1773-1780, 1781-1788, 1789-1796, 1797-1804, 1805-1812, 1813-1820, 1821-1828, 1829-1836, 1837-1844, 1845-1852, 1853-1860, 1861-1868, 1869-1876, 1877-1884, 1885-1892, 1893-1900, 1901-1908, 1909-1916, 1917-1924, 1925-1932, 1933-1940, 1941-1948, 1949-1956, 1957-1964, 1965-1972, 1973-1980, 1981-1988, 1989-1996, 1997-2004, 2005-2012, 2013-2020, 2021-2028, 2029-2036, 2037-2044, 2045-2052, 2053-2060, 2061-2068, 2069-2076, 2077-2084, 2085-2092, 2093-2100, 2101-2108, 2109-2116, 2117-2124, 2125-2132, 2133-2140, 2141-2148, 2149-2156, 2157-2164, 2165-2172, 2173-2180, 2181-2188, 2189-2196, 2197-2204, 2205-2212, 2213-2220, 2221-2228, 2229-2236, 2237-2244, 2245-2252, 2253-2260, 2261-2268, 2269-2276, 2277-2284, 2285-2292, 2293-2300, 2301-2308, 2309-2316, 2317-2324, 2325-2332, 2333-2340, 2341-2348, 2349-2356, 2357-2364, 2365-2372, 2373-2380, 2381-2388, 2389-2396, 2397-2404, 2405-2412, 2413-2420, 2421-2428, 2429-2436, 2437-2444, 2445-2452, 2453-2460, 2461-2468, 2469-2476, 2477-2484, 2485-2492, 2493-2500, 2501-2508, 2509-2516, 2517-2524, 2525-2532, 2533-2540, 2541-2548, 2549-2556, 2557-2564, 2565-2572, 2573-2580, 2581-2588, 2589-2596, 2597-2604, 2605-2612, 2613-2620, 2621-2628, 2629-2636, 2637-2644, 2645-2652, 2653-2660, 2661-2668, 2669-2676, 2677-2684, 2685-2692, 2693-2700, 2701-2708, 2709-2716, 2717-2724, 2725-2732, 2733-2740, 2741-2748, 2749-2756, 2757-2764, 2765-2772, 2773-2780, 2781-2788, 2789-2796, 2797-2804, 2805-2812, 2813-2820, 2821-2828, 2829-2836, 2837-2844, 2845-2852, 2853-2860, 2861-2868, 2869-2876, 2877-2884, 2885-2892, 2893-2900, 2901-2908, 2909-2916, 2917-2924, 2925-2932, 2933-2940, 2941-2948, 2949-2956, 2957-2964, 2965-2972, 2973-2980, 2981-2988, 2989-2996, 2997-3004, 3005-3012, 3013-3020, 3021-3028, 3029-3036, 3037-3044, 3045-3052, 3053-3060, 3061-3068, 3069-3076, 3077-3084, 3085-3092, 3093-3100, 3101-3108, 3109-3116, 3117-3124, 3125-3132, 3133-3140, 3141-3148, 3149-3156, 3157-3164, 3165-3172, 3173-3180, 3181-3188, 3189-3196, 3197-3204, 3205-3212, 3213-3220, 3

⊗ LOT DRAINAGE KEYNOTES

- (A) FRONT DRIVING LOT, SEE LOT DRAINAGE DETAIL SHEET 12
- (B) REAR DRIVING LOT, SEE LOT DRAINAGE DETAIL SHEET 12
- (C) FRONT AND REAR DRIVING LOT, SEE LOT DRAINAGE DETAIL SHEET 12

- ④ KEYNOTES--SUPPLEMENTARY GRADING PLAN ONLY
ENHANCEMENTS NOT, UNLESS OTHERWISE SPECIFIED, TYPICAL
ENHANCEMENTS SHALL BE 3:1 MAX GRADED SLOPES, FRONT OF LOT
DRIVEWAYS SHALL BE 15% MAX GRADIENT

- ① 1.5:1 GRADED RIP-RAP SLOPE SEE DETAIL, SH1 10
- ② 2:1 MAX RIP-RAP SLOPE, 2-LAYERS WHITE FABRIC, 0.50'-6"
- ③ 2:1 TO 3:1 SHOTCRETE SLOPE TRANSITION
- ④ 1:1 SHOTCRETE SLOPE WITH 10% DOWN
- ⑤ PARABOLIC RADING PIER STD INT 165, OR 6" HIGH SLATED CHAIN LINK FENCE
- ⑥ NOTCHED CONCRETE IE MEIN, SH1 9
- ⑦ CONCRETE MAINTENANCE RAMP



PUBLIC PAVING & PRIVATE GRADING PLANS

FOR
NEW TUCSON UNIT 6
LOTS 1-7, 20-55, 131-136
BK17 PG51 M&P

LOCATED IN A PORTION OF SEC 14, T17S, R16E,
GASRW, PIMA COUNTY, ARIZONA

SCHEID: DATE: 1-26-60 NT:
 YRI: N/A SE NO: 15-049

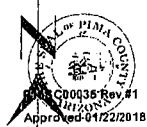
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DRAFTS 6-30-17

DISPATCH BY: DMC

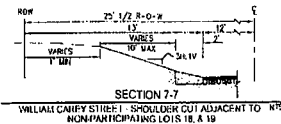
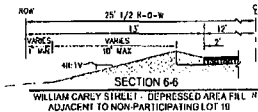
CONFIDENTIAL

DATE: MAR 01 2014



Scale: 1"=30'

STREET CENTERLINE CURVE DATA				STREET CENTERLINE DATA			
CURVE	DELTA	RADIUS	ARC LENGTH	LINE	BEARING	DISTANCE	
101	71°27'12"	300.00'	374.13'	101	N 83°27'31" E	141.82'	
102	89°18'51"	600.00'	872.90'	102	N 71°16'54" E	145.95'	

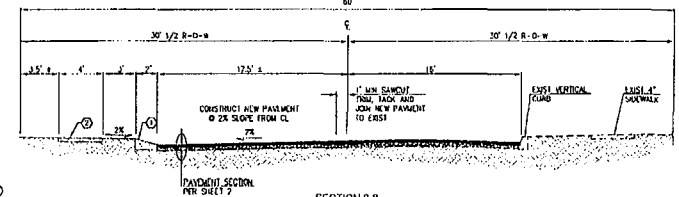
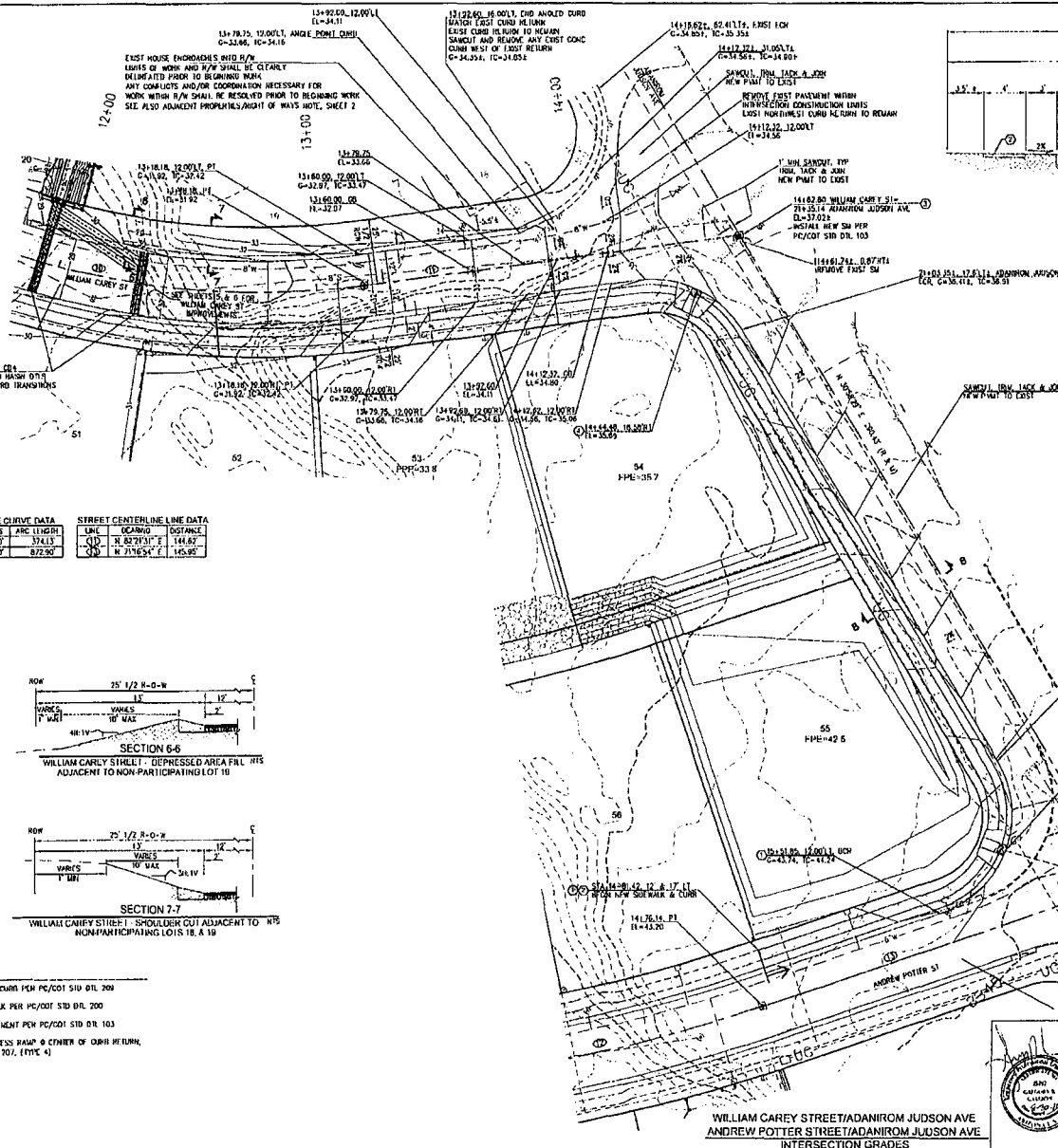


KEYNOTES

- ① 2' WIDE CONC. MEDIAN CURB PER PC/COT STD DTL 200
- ② 4' WIDE CONC. SIDEWALK PER PC/COT STD DTL 200
- ③ INSTALL SURVEY MONUMENT PER PC/COT STD DTL 103
- ④ CONSTRUCT CURB ACCESS RAMP @ CENTER OF CURB RETURN, PER PC/COT STD DTL 102, (TYPE 4)



Gray Carlson Engineering Project No. 15-019



NOTE: ALL STATIONING IS ALONG STREET CENTERLINE UNLESS OTHERWISE NOTED

P16SC00035

	PREPARED BY: 	PUBLIC PAVING & PRIVATE GRADING PLANS FOR NEW TUCSON UNIT 6 LOTS 1-7, 20-55, 131-136 DK17 PG51 M&P LOCATED IN A PORTION OF SDG 14, T17S, 11W, 6ASRM, PIMA COUNTY, ARIZONA
	PREPARED BY: GREG CARLSON ENGINEERING, L.L.C. 1001 E. University Ave., Suite 101, #018 Tucson, AZ 85710 (520) 831-0007 Fax (520) 831-1187 gcarlson@graycarlson.com	
DATE: 01/22/2018	BY: JEC	DATE: 01/22/2018

