



BOARD OF SUPERVISORS AGENDA ITEM REPORT

Requested Board Meeting Date: November 20, 2018

Title: Final Plat (P18FP00019) Mountain Vista Ridge, Lots 1-201, Block 1, and Common Areas "A & B".

Introduction/Background:

Final Plat process to create a legally subdivided property.

Discussion:

N/A

Conclusion:

N/A

Recommendation:

Staff recommends approval.

Fiscal Impact:

N/A

Board of Supervisor District:

☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ All

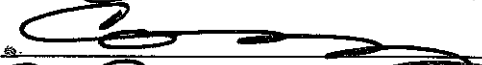
Department: Development Services

Telephone: 724-6490

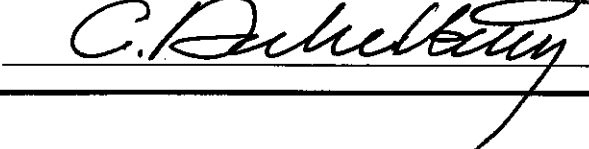
Department Director Signature/Date:

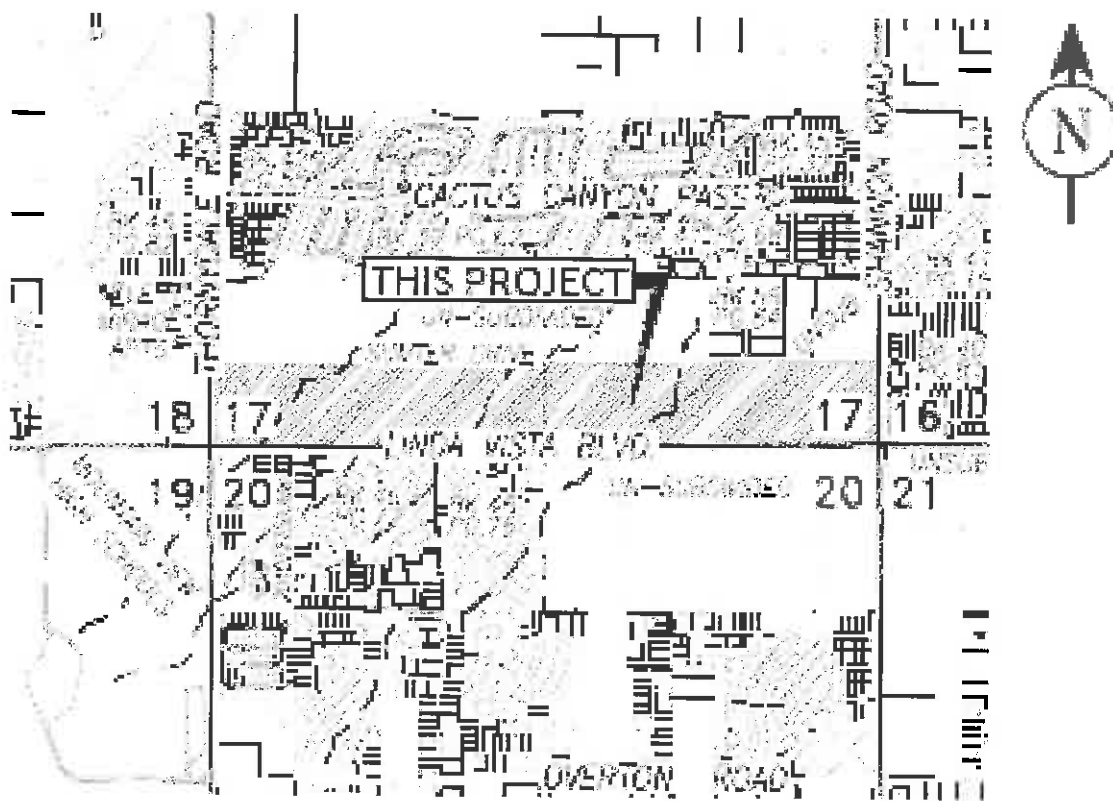
 10/24/18

Deputy County Administrator Signature/Date:

 10/24/18

County Administrator Signature/Date:

 10/24/18



VICINITY MAP

A PORTION WITHIN THE SOUTH HALF OF SECTION 17,
TOWNSHIP 12 SOUTH, RANGE 13 EAST OF
THE GILA AND SALT RIVER BASE AND MERIDIAN,
PIMA COUNTY, ARIZONA
SCALE: 3" = 1 MILE

P18FP00019

Mountain Vista Ridge

Lots 1-201, Block 1, and Common Areas "A & B"

**ASSURANCE AGREEMENT FOR CONSTRUCTION OF
SUBDIVISION IMPROVEMENTS (Third Party Trust)
P18FP00019**

THIS AGREEMENT is made and entered into by and between The Wong Family Limited Partnership, an Arizona limited partnership or successors in interest ("Subdivider"), Title Security Agency, LLC, a Delaware limited liability company ("Trustee"), as trustee under Trust No. 201816-S; and Pima County, Arizona ("County").

1. RECITALS

1.1. Subdivider is the beneficiary and Trustee is the trustee of a trust which owns land ("the Land") located in Pima County, Arizona and described in paragraph 2.1 of this agreement.

1.2. County, Subdivider and Trustee wish to establish specific terms, conditions, and guidelines relating to the subdivision of the Land and construction of related improvements to comply with A.R.S. § 11-821.

2. AGREEMENT

Based on the foregoing recitals, which are incorporated here as the intent of the parties, and in consideration of County's approval of a final plat for the Land, County, Subdivider and Trustee agree as follows:

2.1. *Property Description.* The Land is all of the real property which is the subject of the subdivision plat ("the Subdivision Plat") identified as Mountain Vista Ridge Lots 1-201, Block 1, and Common Areas "A" & "B" ("A" Drainage, Landscape and Bufferyard "B" Natural Open Space) recorded in Sequence number _____ on the _____ day of _____, 2018, in the Office of the Pima County Recorder.

2.2. *Construction of Subdivision Improvements.* As a condition of subdivision approval, Subdivider hereby agrees to construct all subdivision improvements ("the Subdivision Improvements") contemplated by the Subdivision Plat, rezoning conditions, and any associated site construction permits, including but not limited to onsite and offsite streets, sanitary sewers (if necessary), water and electric utilities, drainage and flood control improvements, parks, trails or other recreational facilities, other required infrastructure, and riparian habitat mitigation or payment of the riparian habitat mitigation in-lieu fee.

2.3. *Existing Utilities.* Any relocation or modification of existing utilities or public improvements required in order to construct the Subdivision Improvements shall be done at no expense to the public. Subdividers performance of this requirement shall be considered in determining whether to release assurances under paragraphs 2.5 and 2.6.

2.4. *Assurance of Construction.* This agreement is submitted as an assurance that Subdivider will construct the Subdivision Improvements, as required by A.R.S. § 11-821 and Pima County Zoning Code Chapter 18.69.

2.5. *Limitation on Transfer of Title.* Trustee shall not convey title to any of the Land without obtaining prior written approval from County in the form of a Release of Assurance. A Release of Assurance shall not be provided by County until the Subdivision Improvements are completed in accordance with paragraph 2.12.

2.6. *Partial Release of Assurances.* County shall issue a Release of Assurance for some of the lots depicted on the Subdivision Plat if all of the following have occurred:

A. All of the Subdivision Improvements required in connection with the released lots have been completed in accordance with paragraph 2.12, and

B. County finds that the released lots and the Subdivision Improvements required in connection with them can be used and maintained separately from the Subdivision Improvements not yet completed in accordance with paragraph 2.12, and

C. Recreation area in-lieu fee, if applicable, has been paid to the county for the entire subdivision, prior to a release of greater than 75% of total subdivision lots.

2.7. *Deposit Receipt Agreements.* Notwithstanding paragraph 2.5, Trustee may enter into a deposit receipt agreement for the sale of the Land or any portion of it if the agreement clearly states that no portion of the Land shall be conveyed until Subdivider performs its obligations under this agreement.

2.8. *Bulk Sales.* Notwithstanding paragraph 2.5, Trustee may sell and convey all of the Land in one transaction to a single purchaser who has entered into a satisfactory assurance agreement with County, assuring completion of the Subdivision Improvements.

2.9. *Conveyance Out of Trust for the Purpose of Encumbrance.* Notwithstanding paragraph 2.5, Trustee may convey all or part of the Land to the Subdivider for the sole purpose of encumbering the Land by the recording of mortgages or deeds of trust, provided that the Land is thereafter immediately reconveyed into the trust.

2.10. *Real Property Taxes.* All real property taxes on the Land shall be paid before the taxes are delinquent as defined by A.R.S. 42-18052(B). If the real property taxes on the Land, including any lot or portion of common area, become delinquent, this agreement will be in default.

2.11. *Substitution of Assurances.* Subdivider may submit substitute assurances in a form and amount acceptable to County at any time during which this agreement is not in default.

2.12. *Completion of the Subdivision Improvements.* The Subdivision Improvements shall be completed by Subdivider not more than four years after the date of this agreement. The Subdivision Improvements shall not be considered completed until after they have been constructed in accordance with the Subdivision Plat, rezoning conditions, associated site construction permits, and after County has inspected them and finds them to be in compliance with the plans.

2.13. *Acceptance of the Subdivision Improvements.* County shall not accept maintenance responsibility for any of the Subdivision Improvements unless and until all of the following have occurred:

A. They have been completed in accordance with paragraph 2.12.

B. They have been dedicated to County by the Subdivision Plat or by some other instrument of record.

C. The dedication has been accepted by the Pima County Board of Supervisors as evidenced by approval of the dedication on the Subdivision Plat or by some other formal action.

2.14. *Default, Non-Compliance; County's Options.* This agreement is in default if either the Subdivider or Trustee fails to comply with obligations under this agreement. If this agreement is in default, the County may exercise any or all options below at its sole discretion:

A. The County may re-plat all or a portion of the Land for the purpose of returning the portions of Land which are the subject of the re-plat to approximately the same boundary configurations of record which existed before the recording of the Subdivision Plat. The Subdivider authorizes the County to execute, on behalf of Subdivider, the re-plat described in this section. The re-plat may exclude any dedications to the public which were made on the Subdivision Plat which are necessary to serve either portions of the Land which are not re-platted, or to serve the public. Subdivider shall pay the reasonable costs incurred in re-platting. Notice of default and intent to re-plat will be sent to the last known address of Subdivider and Trustee by certified mail not less than thirty days before County exercises its option to re-plat under this paragraph.

B. If site conditions change after the Subdivider fails to comply with this agreement, the County may require that Subdivider submit evidence that the Tentative and Final Plat comply with current regulations, under current site conditions. If the County determines that the Tentative Plat or Final Plat does not comply, Subdivider shall submit revisions to the plat, to the County with applicable fees. If the revisions are approved by the Board of Supervisors, the date specified in Section 2.12 of this agreement may be extended by up to four years from the approval date. This subsection is not applicable to Block Plats for master planned communities.

C. The County may withhold the issuance of permits for building regulated by Title 15 of the Pima County Code or work regulated by Title 18 of the Pima County Code.

2.15. *Incorporation and Annexation.* If the Land is incorporated as or annexed by a city or town, the city or town shall automatically succeed to all benefits and duties of County under this agreement.

2.16. *Termination.* This agreement shall remain in full force and effect until one of the following has occurred:

A. The Subdivision Improvements have been completed and approved by County in accordance with paragraph 2.11 and a Release of Assurances with respect to all the Land has been recorded in the Office of the Pima County Recorder in accordance with paragraph 2.5; or

B. A new subdivision plat has been recorded for the Land in compliance with any and all applicable laws and regulations; or

C. A substitute assurance agreement has been executed by and between Subdivider and County in accordance with paragraph 2.11.

2.17. *Effective Date.* This Agreement is effective on the _____ day of _____, 20____, which is the date of approval of this agreement by the Pima County Board of Supervisors.

PIMA COUNTY, ARIZONA

SUBDIVIDER: The Wong Family Limited Partnership, an Arizona limited partnership

By: Thomas K. Wong and Lillian Q Wong, as Trustees of The Wong Revocable Trust Dated July 27, 1989, as General Partner

Chairman, Board of Supervisors

By: Lillian Q. Wong
Lillian Q. Wong
Its: Trustee _____

ATTEST:

TRUSTEE: Title Security Agency, LLC, a Delaware limited liability company, as Trustee under Trust No. 201816-S, and not in its corporate capacity

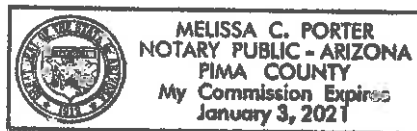
Clerk of the Board

By: Diane L. Sloane
Diane L. Sloane
Its: _____ Trust Officer _____

STATE OF ARIZONA)
County of Pima)

The foregoing instrument was acknowledged before me this 21ST day of JUNE, 2018, by Lillian Q. Wong, as Trustee of the Thomas K. Wong and Lillian Q. Wong, as Trustees of The Wong Revocable Trust Dated July 27, 1989, as General Partner of The Wong Family Limited Partnership, of _____ ("Subdivider"), an Arizona limited partnership.

My Commission Expires:
01-03-2021

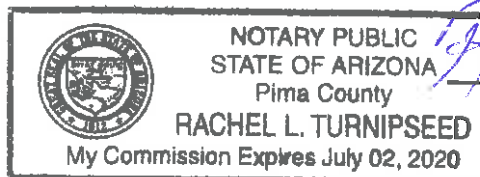


Melissa C. Porter
Notary Public

STATE OF ARIZONA)
County of Pima)

The foregoing instrument was acknowledged before me this 26th day of _____, 2018, by Diane L. Sloane, Trust Officer of Title Security Agency, LLC, ("Trustee"), a Delaware limited liability company, on behalf of the corporation, as trustee under trust number 201816-S.

My Commission Expires:
7-2-2020



Rachel L. Turnipseed
Notary Public

DEDICATION

I THE UNDERSIGNED, HEREBY WARRANT THAT WE ARE THE ONLY PARTY HAVING ANY TITLE INTEREST IN THE LAND SHOWN ON THE PLAT, AND I, CONSENT TO THE SUBDIVISION OF SAID LAND IN THE MANNER SHOWN HEREON.

I THE UNDERSIGNED DO HEREBY HOLD HARMLESS PIMA COUNTY AND PIMA COUNTY FLOOD CONTROL DISTRICT, THEIR SUCCESSORS, ASSIGNS, EMPLOYEES, OFFICERS, AND AGENTS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THE PROPERTY DEPICTED ON THIS PLAT NOW AND IN THE FUTURE BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE, FLOOD OR RAINFALL.

I HEREBY DEDICATE AND CONVEY TO PIMA COUNTY ALL RIGHTS-OF-WAY AS SHOWN HEREON, INCLUDING ALL PUBLIC STREETS, ROADS, AND PARKS.

I HEREBY DEDICATE AND CONVEY TO PIMA COUNTY FLOOD CONTROL DISTRICT ALL NATURAL CHANNELS AND/OR DRAINAGE WAYS WITHIN DEDICATED R.O.W. AS SHOWN HEREON FOR THE PURPOSE OF MAINTENANCE AND FLOOD CONTROL.

I HEREBY GRANT TO PIMA COUNTY AND ALL UTILITY COMPANIES ALL PUBLIC EASEMENTS AS SHOWN HEREON FOR THE PURPOSE OF ACCESS FOR INSTALLATION AND MAINTENANCE OF PUBLIC SEWERS AND UTILITIES AND OTHER USES AS DESIGNATED BY THIS PLAT.

COMMON AREAS (AND PRIVATE EASEMENTS), AS SHOWN HEREON ARE RESERVED FOR THE PRIVATE USE AND CONVENIENCE OF ALL OWNERS OF PROPERTY WITHIN THIS SUBDIVISION AND ARE GRANTED AS EASEMENTS TO PIMA COUNTY AND ALL UTILITY COMPANIES FOR THE INSTALLATION AND MAINTENANCE OF ABOVEGROUND AND UNDERGROUND UTILITIES AND PUBLIC SEWERS.

TITLE TO THE LAND OF ALL COMMON AREAS SHALL BE VESTED IN AN ASSOCIATION OF INDIVIDUAL LOT OWNERS AS ESTABLISHED BY COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED UNDER SEQUENCE NUMBER _____, IN THE OFFICE OF THE PIMA COUNTY RECORDER. THIS ASSOCIATION SHALL ACCEPT THE RESPONSIBILITY FOR CONTROL, MAINTENANCE, AD VALOREM TAXES AND LIABILITY FOR THE COMMON AREAS, TO INCLUDE PRIVATE STREETS, PRIVATE DRAINAGEWAYS, PRIVATE SEWERS AND PRIVATE EASEMENTS, WITHIN THE SUBDIVISION.

TITLE SECURITY AGENCY, LLC, A DELAWARE LIMITED LIABILITY COMPANY, TRUST NO. 201816-S, AS TRUSTEE ONLY AND NOT IN ITS CORPORATE CAPACITY.

BY: _____ DATE: _____
DIANE L. SLOANE

ACKNOWLEDGEMENTS

STATE OF ARIZONA) s.s.:
PIMA COUNTY)
ON THIS _____ DAY OF _____, 20____, BEFORE ME PERSONALLY APPEARED _____, WHO ACKNOWLEDGED TO BE THE TRUST OFFICIAL OF _____ AND BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN.

NOTARY PUBLIC: _____ MY COMMISSION EXPIRES: _____

BENEFICIARY

THE BENEFICIARY OF TITLE SECURITY AGENCY, LLC, TRUST NO. 201816-S, IS THE WONG FAMILY LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP.

THE WONG FAMILY LIMITED PARTNERSHIP
5975 E. SPEEDWAY BOULEVARD
TUCSON, AZ 85712

RECORDING

STATE OF ARIZONA) s.s.:
PIMA COUNTY)

THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF _____ ON THIS _____ DAY OF _____, 20____, IN SEQUENCE NO. _____, PIMA COUNTY RECORDS

COUNTY RECORDER _____ DATE _____

ASSURANCES

ASSURANCE IN THE FORM OF A THIRD PARTY TRUST AGREEMENT, TRUST NO. 201816-S FROM TITLE SECURITY AGENCY, LLC AS RECORDED IN SEQUENCE NO. _____ HAS BEEN PROVIDED TO GUARANTEE IMPROVEMENTS AS REQUIRED BY THE PIMA COUNTY ZONING CODE, CHAPTER 18.69 (SUBDIVISION STANDARDS) IN THIS SUBDIVISION.

BY: _____ DATE _____
CHAIRMAN, BOARD OF SUPERVISORS
PIMA COUNTY, ARIZONA

ATTEST

I, JULIE CASTANEDA, CLERK OF THE BOARD OF SUPERVISORS, HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE BOARD OF SUPERVISORS OF PIMA COUNTY, ARIZONA, ON THIS THE DAY OF _____, 20____.

CLERK, BOARD OF SUPERVISORS _____ DATE _____

FINAL PLAT
FOR
MOUNTAIN VISTA RIDGE
LOTS 1 - 201, BLOCK 1, and
COMMON AREA "A" (DRAINAGE, LANDSCAPE AND BUFFERYARD)
COMMON AREA "B" (NAUTRAL OPEN SPACE)
ADMINISTRATIVE ADDRESS: 3620 W LINDA VISTA BOULEVARD

GENERAL AND PERMITTING NOTES

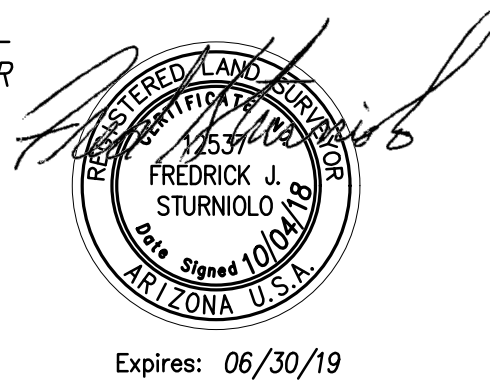
- THIS DEVELOPEMENT CONSISTS OF ASSESSORS PARCEL NUMBERS 224-44-060A AND 224-44-0710.
- THE GROSS AREA OF THIS SUBDIVISION IS 77.95 ACRES.
- THE TOTAL NUMBER OF LOTS IS 201.
- THIS SUBDIVISION LIES WITHIN THE METROPOLITAN DOMESTIC WATER IMPROVEMENT DISTRICT, WHICH IS DESIGNATED AS HAVING AN ASSURED 100-YEAR WATER SUPPLY.
- BLOCK 1, AS SHOWN HEREON IS RESERVED FOR POTENTIAL FUTURE CELL TOWER, UTILITY OR RELATED USE. BLOCK 1 AREA = 894.68 SF (0.02 AC.)
- COMMON AREAS INFORMATION: "A" (10.91 AC.) LANDSCAPE, DRAINAGE & BUFFERYARD, "B" (23.75 AC.) UNDISTURBED NATURAL OPEN SPACE, (TOTAL 34.66 AC).
- CONDITIONAL ZONING IS CR-4 (MIXED-DWELLING TYPE) ZONING. PER REZONING CASE P17RZ00006, APPROVED BY THE BOARD OF SUPERVISORS ON 4/17/2018
- THE GROSS DENSITY IS 2.58 RAC.
- TOTAL MILES OF NEW PUBLIC INTERNAL SUBDIVISION STREETS IS 1.53 MILES. TOTAL MILES OF NEW PUBLIC LINDA VISTA BOULEVARD IS 0.49 MILES.
- NO FURTHER SUBDIVISION OF ANY LOTS SHOWN HEREON WILL BE DONE WITHOUT THE WRITTEN APPROVAL OF PIMA COUNTY.
- BASIS OF BEARING FOR THIS PROJECT: THE WEST LINE OF THE SW¼ OF SECTION 17 AS SHOWN ON THE PLAT MAP RECORDED ON BOOK 39 AT PAGE 58. SAID BEARING BEING: N. 00° 02' 04" W.
- MATERIAL WITHIN THE SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH SIGHT VISIBILITY PER PIMA COUNTY SUBDIVISION AND DEVELOPMENTS STREET STANDARDS (3.2.4.2).
- THE HOMEOWNER'S ASSOCIATION WILL ACCEPT RESPONSIBILITY FOR MAINTENANCE, CONTROL, SAFETY, AND LIABILITY OF COMMON AREAS "A" & "B" (LANDSCAPE, DRAINAGE, BUFFERYARD AND NATURAL OPEN SPACE).
- THERE WILL BE NO FURTHER SUBDIVIDING OR LOT SPLITTING WITHOUT THE WRITTEN APPROVAL OF THE PIMA COUNTY BOARD OF SUPERVISORS.
- A RIGHT-OF-WAY USE PERMIT IS REQUIRED FOR CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY AND PUBLIC DRAINAGE WAYS.
- TOTAL AMOUNT OF REGULATED RIPARIAN HABITAT ONSITE: 11.11 ACRES.
- THIS PARCEL IS NOT SUBJECT TO A RIPARIAN HABITAT MITIGATION PLAN.
- THIS PARCEL IS SUBJECT TO EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN BOOK 77 MISCELLANEOUS RECORDS, PAGE 486, FOR THE PURPOSE OF ELECTRIC FACILITIES.

CERTIFICATION

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION AND THAT ALL BOUNDARY MONUMENTS INDICATED HEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE AND MATERIAL ARE CORRECTLY SHOWN. I FURTHER CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECTION.

FREDRICK J. STURNIOLO
PRECOSION LAND SURVEY, INC.
ARIZONA REGISTRATION #12537

10/04/2018
DATE



Expires: 06/30/19

I HEREBY CERTIFY THAT THE FLOODPRONE LIMITS AND/OR EROSION HAZARD SETBACKS SHOWN ON THIS PLAT WERE PREPARED BY ME OR UNDER MY SUPERVISION. THEY HAVE BEEN SHOWN AND REVIEWED UNDER MY DIRECTION.

CLINTON M. GLASS
CMG DRAINAGE ENGINEERING, INC.
PE #15275

10/04/2018
DATE

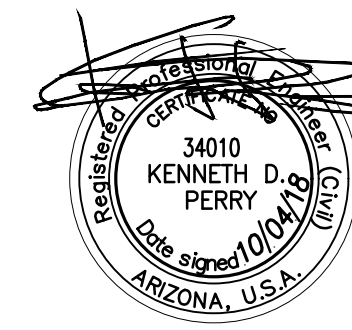


Expires: 12/31/20

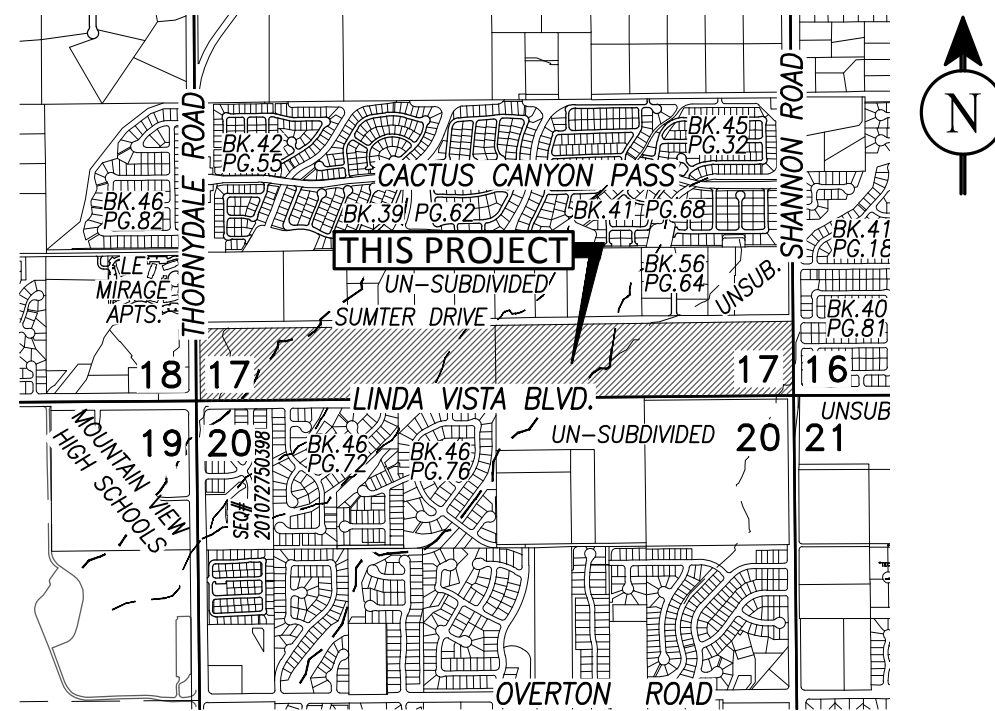
I HEREBY CERTIFY THAT THE INTERIOR SUBDIVSION GEOMETRY FOR THIS PLAT WAS PREPARED UNDER MY DIRECTION.

KENNETH D. PERRY
PERRY ENGINEERING, LLC
PE #34010

10/04/2018
DATE



Expires: 09/30/20



VICINITY MAP

A PORTION WITHIN THE SOUTH HALF OF SECTION 17,
TOWNSHIP 12 SOUTH, RANGE 13 EAST OF
THE GILA AND SALT RIVER BASE AND MERIDIAN,
PIMA COUNTY, ARIZONA
SCALE: 3" = 1 MILE

LEGEND

- (C) CALCULATED DIMENSION
- (M) MEASURED DIMENSION PER THIS SURVEY
- (R) RECORD DIMENSION PER MAPS & PLATS BOOK 27, PAGE 74
- ⊗ FOUND BRASS CAP SURVEY MONUMENT (BCSM)
- ⊙ SET 1/2" IRON PIN, TAGGED 'RLS 12537'
- FOUND AS NOTED
- ☒ 2" BCSM PER PAG #103 TO BE SET BY AN RLS.
- NEW LOT CORNER (TO BE SET BY RLS)
- BOUNDARY
- RIGHT OF WAY
- CENTER LINE
- NEW EASEMENT LINE
- NEW LOT LINE
- EX. EASEMENT LINE
- SECTION LINE
- 100 YR. FLOOD PRONE LINE
- EROSION HAZARD SETBACK LINE
- XERORIPARIAN "C" AREA LIMIT LINE
- 404 JURISDICTIONAL DELINEATION LIMITS
- BUFFERYARD LINE
- SITE SETBACK LINE

ADMINISTRATIVE ADDRESS

3620 W LINDA VISTA BLVD.
TUCSON AZ, 85742

SHEET INDEX

SHEET 1 DEDICATION AND SIGNATURE SHEET
SHEET 2 INDEX SHEET / BOUNDARY SURVEY
SHEETS 3-8 FINAL PLAT SHEETS
SHEET 9 LINE AND CURVE TABLES
SHEETS 10-12 ... FLOODPLAIN, EHS AND RIPARIAN DETAIL
SHEETS 13-14 ... FP, EHS, RA LINE AND CURVE TABLES

FINAL PLAT FOR
FOR
MOUNTAIN VISTA RIDGE

LOTS 1-201, BLOCK 1, AND COMMON AREAS
"A" & "B" ("A" DRAINAGE, LANDSCAPE AND
BUFFERYARD, "B" NATURAL OPEN SPACE)
LOCATED IN AN UNSUBDIVIDED PORTION OF THE SOUTH HALF OF
SECTION 17, TOWNSHIP 12 SOUTH, RANGE 13 EAST,
G&SRB&M, PIMA COUNTY, AZ

PERRY
ENGINEERING

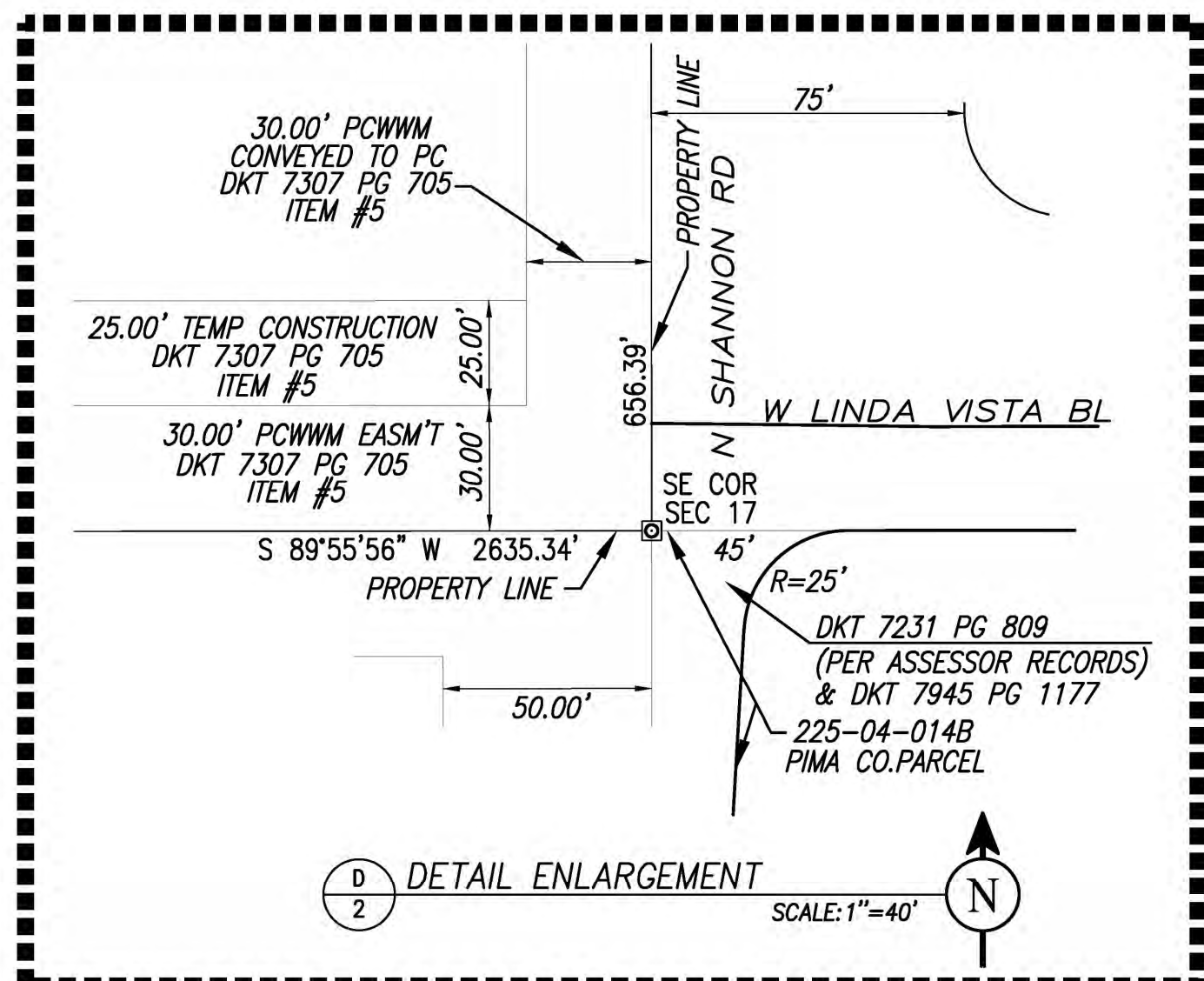
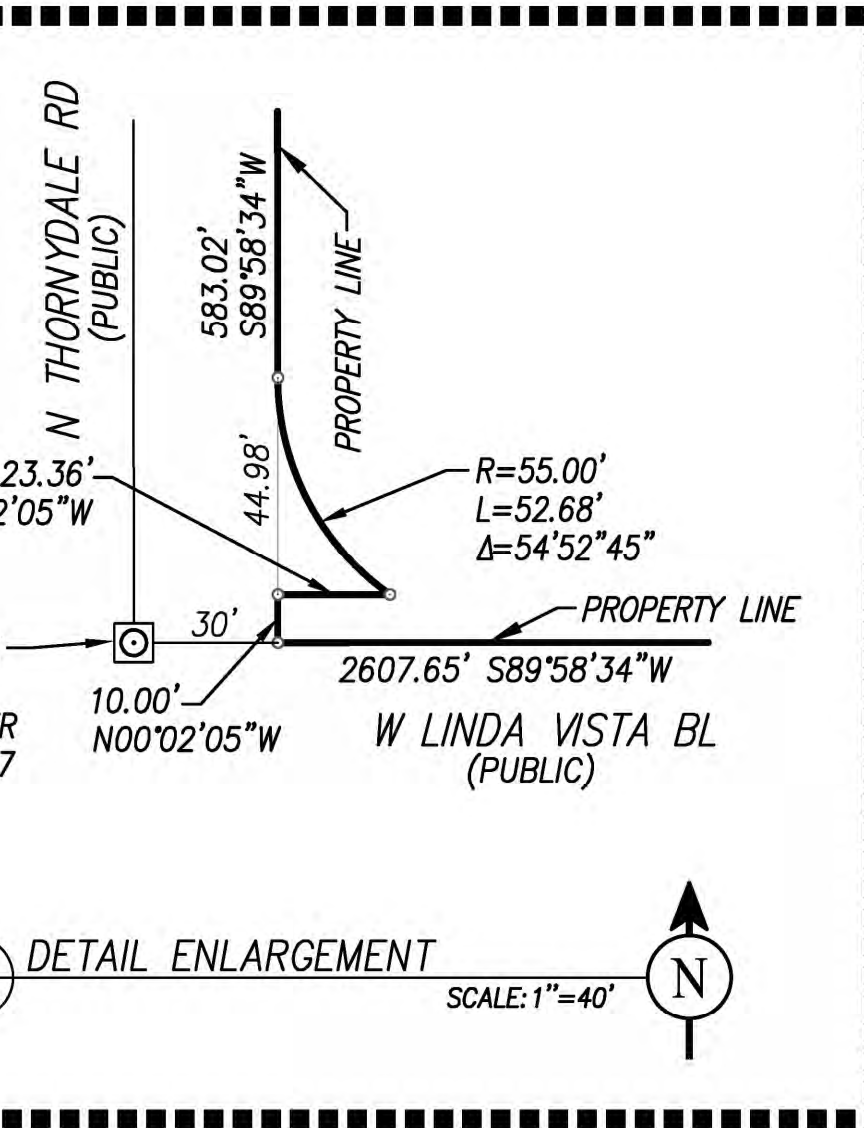
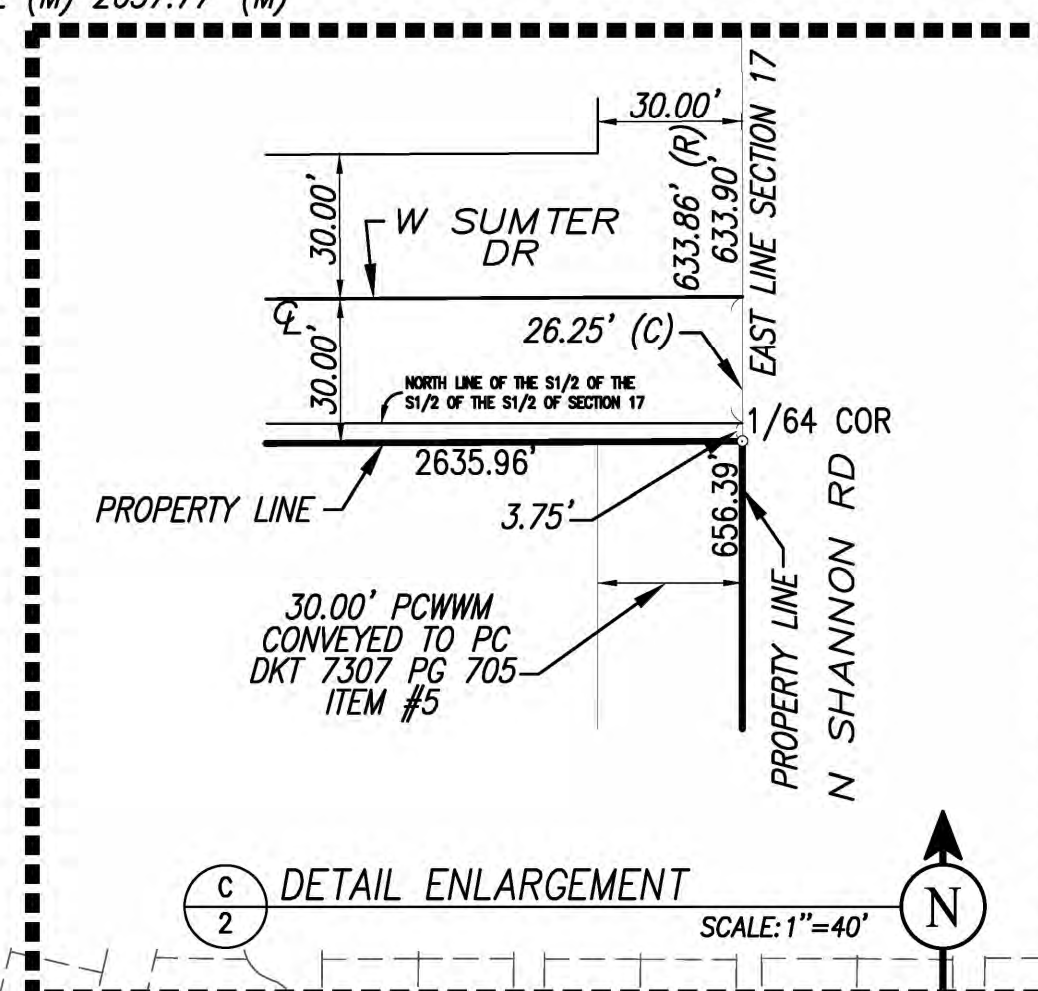
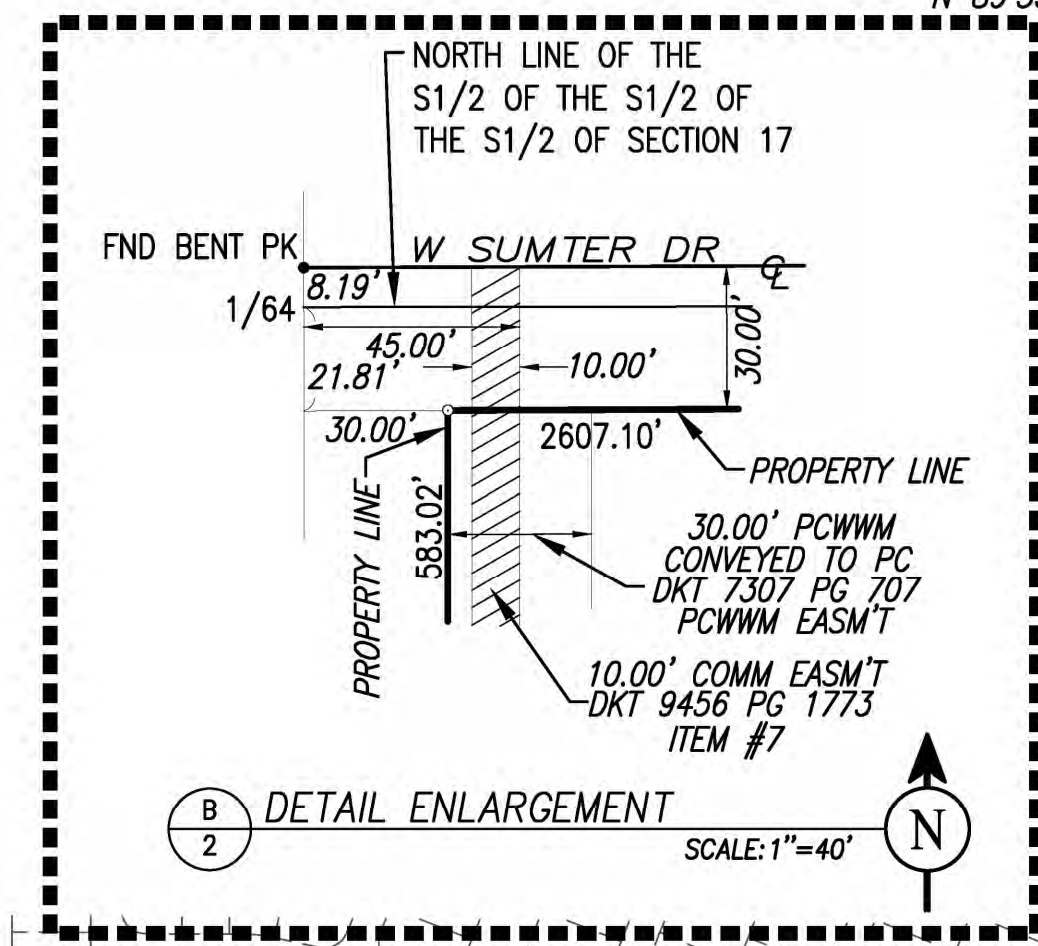
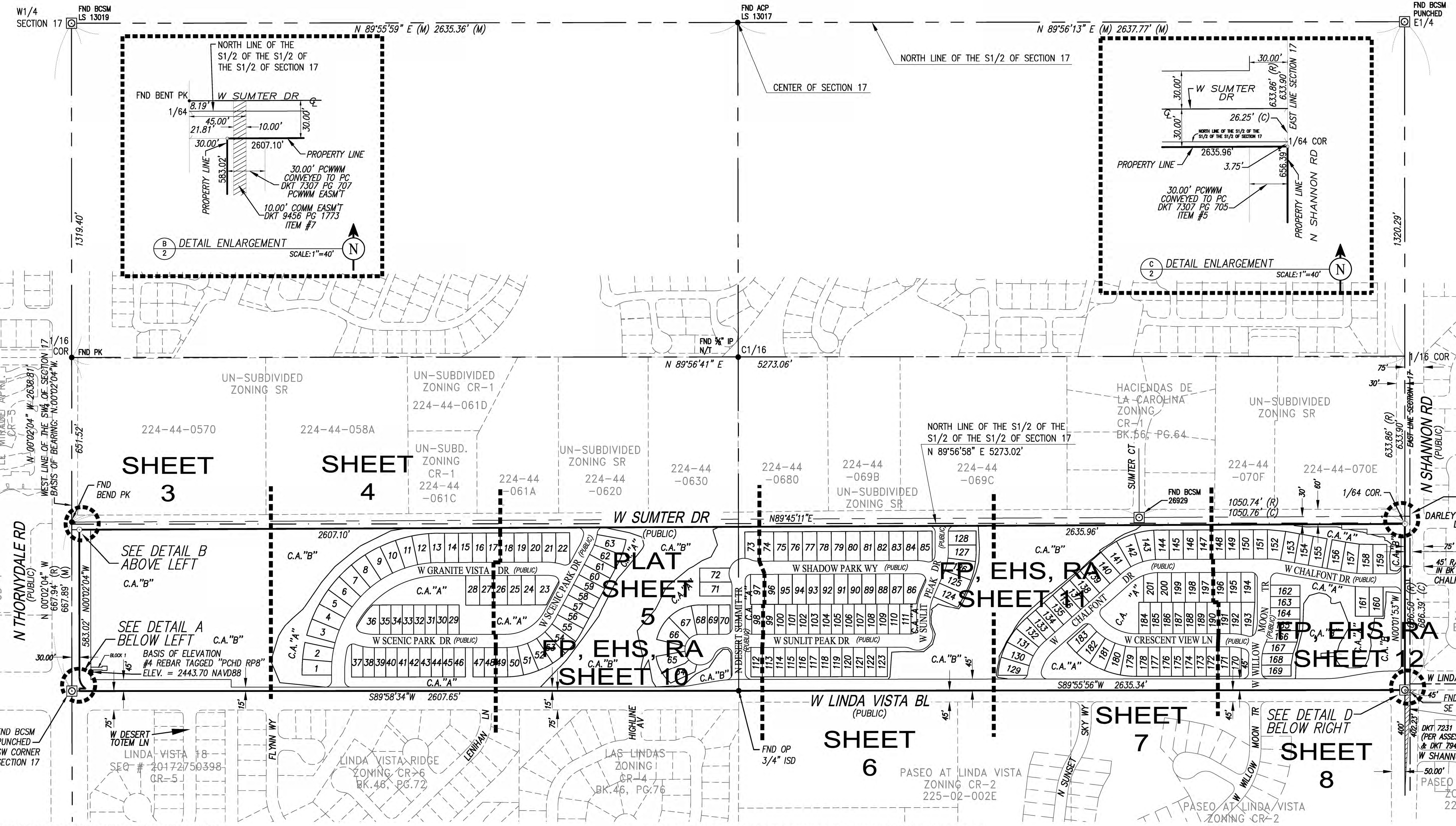
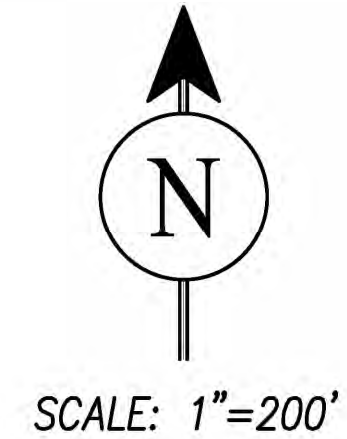
505 W WETMORE RD.
TUCSON, AZ 85705
CONTACT: KEN PERRY, P.E.
520-620-9870
kperry@perryengineering.net

REF PLAN #'s:
P17RZ00006
P18TP00007
P18SC00019
P18SC00038
P18SC00039
P18SC00043
P18SC00044
G-2018-051

PC ACTIVITY #P18FP00019

SHEET 1 OF 14

SEC. #



SHEET INDEX

SHEET 1		DEDICATION AND SIGNATURE SHEET
SHEET 2		INDEX SHEET / BOUNDARY SURVEY
SHEETS 3-8		FINAL PLAT SHEETS
SHEET 9		LINE AND CURVE TABLES
SHEETS 10-12	...	FLOODPLAIN, EHS AND RIPARIAN DETAIL
SHEETS 13-14	...	FP, EHS, RA LINE AND CURVE TABLES

AS TO CERTIFICATION ON SHEET 1

PERRY
ENGINEERING
505 W WETMORE RD.
TUCSON, AZ 85705
CONTACT: KEN PERRY, P.E.
520-620-9870
kperry@perryengineering.net

REF PLAN #'s:
P17RZ00006
P18TP00007
P18SC00019
P18SC00038
P18SC00039
P18SC00043
P18SC00044
G-2018-051

FINAL PLAT FOR
FOR
MOUNTAIN VISTA RIDGE
LOTS 1-201, BLOCK 1, AND COMMON AREAS
"A" & "B" ("A" DRAINAGE, LANDSCAPE AND
BUFFERYARD, "B" NATURAL OPEN SPACE)
LOCATED IN AN UNSUBDIVIDED PORTION OF THE SOUTH HALF OF
SECTION 17, TOWNSHIP 12 SOUTH, RANGE 13 EAST,
G&SRB&M, PIMA COUNTY, AZ

CB-1
PARCEL
224-46-2710

CB-1
PARCEL
224-46-270C

CB-1
PARCEL
224-46-2720

NORTH LINE OF THE S1/2 OF THE
S1/2 OF THE S1/2 OF SECTION 17
N 89°56'58" E 5273.02'

UN-SUBDIVIDED
ZONING SR
224-44-0570

UN-SUBDIVIDED
ZONING SR
224-44-058A

W SUMTER DR (PUBLIC)

N THORNYDALE RD (PUBLIC)

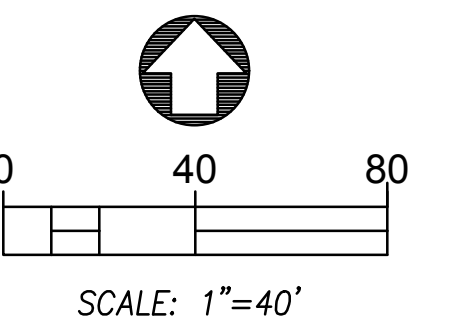
W LINDA VISTA BL (PUBLIC)

W DESERT
TOTEM LN
(PUBLIC)

LINDA VISTA RIDGE
ZONING CR-6
BK.46, PG.72

PERRY
ENGINEERING
505 W WETMORE RD.
TUCSON, AZ 85705
CONTACT: KEN PERRY, P.E.
520-620-9870
kperry@perryengineering.net

REF PLAN #'s:
P17RZ00006
P18TP00007
P18SC00019
P18SC00038
P18SC00039
P18SC00043
P18SC00044
G-2018-051



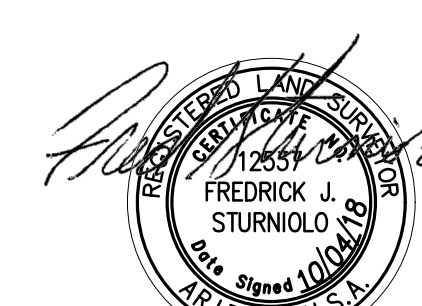
KEYNOTES

- ① RIPARIAN AREA LIMIT LINE
- ② 100-YEAR FLOODPLAIN LIMIT LINE
- ③ EROSION HAZARD SETBACK LIMIT LINE
- ④ 404 JD WASH LIMITS
- ⑤ LIMIT LINE POINT OF INTERSECTION
- ⑥ 1 FOOT NO VEHICLE ACCESS EASEMENT GRANTED BY THIS FINAL PLAT.
- ⑦ 10 FEET PUBLIC UTILITIES EASEMENT GRANTED BY THIS FINAL PLAT.
- ⑧ PUBLIC ROAD RIGHT OF WAY GRANTED TO PIMA COUNTY BY SEQ. 20182200465 (WIDTH VARIES, SEE PLAN VIEW)
- ⑨ EXISTING 10.00' COMMUNICATION EASEMENT PER DKT 9456, PG 1773.
- ⑩ NEW PUBLIC WATER EASEMENT GRANTED TO METROPOLITAN DOMESTIC WATER IMPROVEMENT DISTRICT (WIDTH VARIES, SEE PLAN VIEW)
- ⑪ EXISTING 10.00'x150.00' ROAD AND UTILITY EASEMENT PER DKT 9941, PG 704.
- ⑫ EXISTING PUBLIC WATER EASEMENT PER DKT 12189, PG 3285.
- ⑬ EXISTING 30.00'x90.00' WATERLINE EASEMENT PER SEQ# 20163280827.
- ⑭ EXISTING 25.00' TEMPORARY CONSTRUCTION EASEMENT PER DKT 7307, PG 707. BY APPROVAL OF THIS PLAT THE TEMPORARY CONSTRUCTION EASEMENT IS RELEASED.
- ⑮ EXISTING 30.00' PIMA COUNTY WASTEWATER MANAGEMENT EASEMENT PER DKT 7307, PG 707.
- ⑯ EXISTING 60.00' PIMA COUNTY RIGHT OF WAY DEDICATED PER BK 22, PG 52.
- ⑰ EXISTING 75.00' PIMA COUNTY RIGHT OF WAY DEDICATED PER DKT 9941, PG 701.
- ⑱ EXISTING 30.00' PIMA COUNTY RIGHT OF WAY DEDICATED PER BK 2, PG 134.
- ⑲ PUBLIC ROAD RIGHT OF WAY GRANTED TO PIMA COUNTY BY SEQ. 20181860334 (WIDTH VARIES, SEE PLAN VIEW)
- ⑳ 10' (SIDE) SITE SETBACK LINE
- ㉑ 20' (FRONT) SITE SETBACK LINE
- ㉒ 40' BUFFERYARD "D" LINE
- ㉓ 20' BUFFERYARD "C" LINE
- ㉔ 10' (REAR) SITE SETBACK LINE

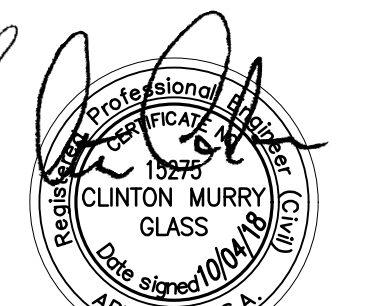
GENERAL NOTES

- 1 SEE SHEETS 13-14 FOR FLOODPLAIN, EROSION HAZARD SETBACK AND RIPARIAN AREA LINE AND CURVE TABLES
- 2 SEE SHEET 9 FOR FINAL PLAT LINE AND CURVE TABLES

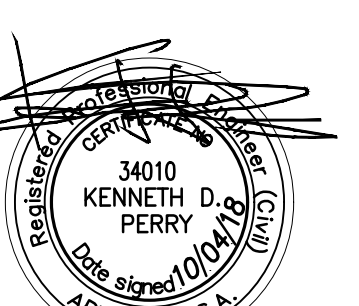
AS TO CERTIFICATION ON SHEET 1



Expires: 06/30/19



Expires: 12/31/20



Expires: 09/30/20

FINAL PLAT FOR FOR MOUNTAIN VISTA RIDGE

LOTS 1-201, BLOCK 1, AND COMMON AREAS
"A" & "B" ("A" DRAINAGE, LANDSCAPE AND
BUFFERYARD, "B" NATURAL OPEN SPACE)
LOCATED IN AN UNSUBDIVIDED PORTION OF THE SOUTH HALF OF
SECTION 17, TOWNSHIP 12 SOUTH, RANGE 13 EAST,
G&SRB&M, PIMA COUNTY, AZ

PC ACTIVITY #P18FP00019

SHEET 3 OF 14

SEQ. #