



BOARD OF SUPERVISORS AGENDA ITEM REPORT

Requested Board Meeting Date: May 2, 2017

Title: Estates at San Joaquin, Lots 1-10, P14SI00045, Developer/Owner: Mr. Vince Catalano

Introduction/Background:

Acceptance of the above referenced Project/Roadway into the Pima County Maintenance System.

Discussion:

Project/Roadway Improvements have been completed in close conformance to the approved improvement plans and specifications and has been dedicated to Pima County and Recorded as Public Right-of-Way. Recommendation is made to accept the attached roadways into the Pima County Maintenance System.

Conclusion:

If Approved:

Public improvements completed adjacent to these Subdivision Lots and/or Roadway will be maintained by the Pima County Department of Transportation.

If Denied:

Recently completed improvements to the above referenced Project/Roadway will not be maintained by the Pima County Department of Transportation.

Recommendation:

Acceptance of the attached roadways/subdivision improvements into the Pima County Maintenance System.

Fiscal Impact:

No cost to the Department for these improvements. If accepted into the Maintenance System there will be a cost associated with the maintenance, however not immediately since it is new construction.

Board of Supervisor District:

☒ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ All

Department: Transportation Telephone: 520-724-2819

Department Director Signature/Date: [Signature] 4/3/17

Deputy County Administrator Signature/Date: [Signature] 4/5/17

County Administrator Signature/Date: C. D. [Signature] 4/7/17

GENERAL NOTES

1. THE TOTAL AREA OF THE DEVELOPMENT IS 4.46 ACRES.
2. THE PROPOSED LOT SIZES ARE: PARCEL NUMBER IS 101-09-0046.
3. THE WATER COMPANY THAT WILL SERVE THIS DEVELOPMENT IS P14SI00045 REV 2/01/2016.
4. ALL RECORD DRAWINGS, ETC., OF THE EXISTING UTILITIES AND RECORDS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
5. THE TOTAL MILES OF NEW PUBLIC STREETS = 0.10 MILES.
6. ALL WEATHER ACCESS WILL BE PROVIDED TO ALL LOTS WITHIN THIS SUBDIVISION.
7. MATERIALS WITHIN EIGHT VISION TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISION PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
8. THE CONDITIONALLY APPROVED ZONING IS: SHRP 1.78 ACRES (COMMON AREA) AND CR 1.68 ACRES (LOTS 1-10).
9. THIS PROJECT IS SUBJECT TO BOARD OF SUPERVISORS REVIEWING CONDITIONS AS FOUND IN CASE NUMBER C-09-28 AS APPROVED ON NOVEMBER 18, 2004. THE FOLLOWING CONDITIONS AFFECT THE ISSUANCE OF BUILDING PERMITS:
 - A) THERE SHALL BE NO FURTHER SPLITTING OR SUBDIVIDING WITHOUT THE WRITTEN APPROVAL OF THE BOARD OF SUPERVISORS.

PAVING & GRADING NOTES

1. ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA COUNTY/CITY OF TUCSON (P/C/COT) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2003 EDITION, AND THE PIMA COUNTY/CITY OF TUCSON STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, 2003 EDITION, (EXCEPT AS MODIFIED HEREIN). (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
2. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC., SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
5. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
7. UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
8. CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
9. PROJECT EARTHWORK (UNADJUSTED APPROXIMATE):

TOTAL CUT	13,830 CY	TOTAL FILL	9,500 CY	COMPOSITE	4,330 CY (C)
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 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREIN ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
10. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING (EXCAVATION, BORROW/EMBANKMENT, SHRINK OR SWELL, GROUND CONTRACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID) TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BIDDABLE QUANTITY ON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
11. IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT DED TO RE-NEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
12. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE BEGINNING OF GRADING. SUBSEQUENT GRADING INSPECTIONS ARE TO BE PERFORMED FOR THE PRE-CON MEETING. FINAL INSPECTION WILL BE SCHEDULED AFTER RECEIPT OF THE ENGINEER'S CERTIFICATION LETTER.

PAVING & GRADING NOTES (CONT'D)

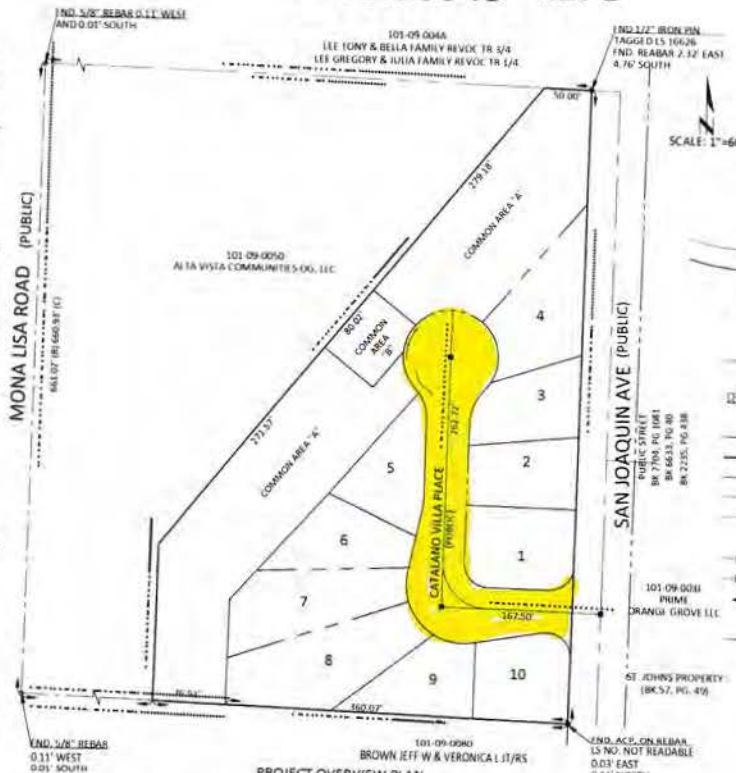
13. A REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO A REQUEST FOR FINAL INSPECTION/LIQUIDATION OF OCCUPANCY, RELEASE OF ASSURANCES OR MODULAR PLINETS.
14. CYPRESS CIVIL hereby certifies that all finished grades and paved areas contained within this development are designed with slopes of at least 0.5%.
15. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR CYPRESS CIVIL.
16. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-991-5213.
17. AGGREGATE BASE COURSE SHALL CONFORM TO P/C/COT STANDARD SPECIFICATION SECTION 303.
18. ASPHALTIC CONCRETE SHALL CONFORM TO P/C/COT STANDARD SPECIFICATION SECTION 306, MIX #2.
19. ALL CONCRETE SHALL CONFORM TO P/C/COT STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, AND CLASS A, 3000 PSI AT 28 DAYS.
20. ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT. ADD 0.5' FOR THE ADJACENT TOP OF CURB/CONCRETE ELEVATION UNLESS OTHERWISE SHOWN.
21. CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
22. CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHARPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROCKS, OR OTHER WASTE MATERIAL EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
23. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
24. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THIS PROJECT.
25. UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POT-HOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
26. ALL STRUCTURES INCLUDING WALLS, RETAINING WALLS AND FENCES REQUIRE SEPARATE PERMITS.

SURVEY NOTES

1. THE BASIS OF BEARINGS FOR THIS PROJECT IS THE WEST LINE OF THE NW 1/4 SECTION 9, TOWNSHIP 13 S, RANGE 13 EAST Q13 R.M., PIMA COUNTY, ARIZONA PER SURVEYOR RICHARD BOOR 52, PAGE 10 MAP THE BEARING OF SAID CENTERLINE IS 111° 11' 11".
2. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS A BRASS CAP FOUND AT THE INTERSECTION OF NORTH MONA LISA ROAD AND WEST ORANGE GROVE ROAD. THE ELEVATION OF SAID BENCHMARK IS 2328.85, NAVD 83 DATUM.
3. THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:

YUMA T. WATSON, ENGINEERING
1420 S. 5TH AVENUE, YUMA, AZ 85304
P: (928) 378-9907
ATTN: MR. BRUCE E. WATSON, AZ RES #16626
4. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE ANCHOR BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED. THE SURVEYOR SHALL BE NOTIFIED OF ANY DESIGN INDICATED ON THE PLANS. BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.

SITE CONSTRUCTION PLAN for ESTATES AT SAN JOAQUIN P14SI00045 REV 2



SURVEY NOTES (CONT'D)

5. UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT COMES IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN:
 - 1. FINISH BUILDING PAVEMENT ELEVATIONS AS DESIGNED BY THE ENGINEER.
 - 2. FINISH GRADE AS DESIGNED BY THE ENGINEER. SEE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

TURN LANE WARRANTS CALCULATION

NO TRUCKS REQUIRED AS A RESULT OF PEAK HOUR TRIPS < 100 THEREFORE, TURN LANE WARRANTS CALCULATION PROVIDED:

NAME OF STREET ADJACENT POSTED SPEED LIMIT	SAN JOAQUIN AVENUE (PUBLIC) 35 MPH
AVG. DAILY TRAFFIC	< 2,500
PEAK HOUR TRIPS (PER TABLE 3.2)	1 (MAX = 75)
LEFT TURN ACCESS POINTS	1
RIGHT TURN ACCESS POINTS	5 (MAX = NO MAX FOR ADT < 2,500)

*NO LEFT OR RIGHT TURN LANES NEEDED PER CALCULATIONS ABOVE

RIP-RAP NOTES

1. RIP-RAP MATERIAL SHALL CONFORM TO P/C/COT STANDARD SPECIFICATION SECTION 913. RIP-RAP SHALL BE HAND PLACED RIP-RAP PER P/C/COT STANDARD SPECIFICATION SECTION 913.2.01, AND SHALL BE WELL GRADED, VARYING IN SIZE FROM 4 TO 8 INCHES (4-8" - 1-2-4). THE RIP-RAP SHALL BE PLACED UNDER THE BASE COURSE SHALL CONFORM TO P/C/COT STANDARD SPECIFICATION SECTION 913.2.01 AND 1014.4.03 FOR HIGH SURVIVABILITY GEOTEXTILE MATERIAL INERT TO COMMONLY ENCOUNTERED CHEMICALS.

FOR REVISION #1 ONLY:

A PORTION OF THE SE 1/4 OF THE NW 1/4 OF THE NW 1/4 OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 13 EAST Q13 R.M., PIMA COUNTY, ARIZONA

SHEET INDEX

1. COVER SHEET
2. PLAN AND PROFILE
3. DETAILS
4. DETAILS

SITE ADDRESS

ESTATES AT SAN JOAQUIN
1200 WEST CASSIM LANE
TUCSON, ARIZONA 85704
PH: (520) 800-4276
FAX: (520) 800-4276

OWNER/DEVELOPER

MR. VINCE CATALANO
1200 WEST CASSIM LANE
TUCSON, ARIZONA 85704
PH: (520) 800-4276
FAX: (520) 800-4276

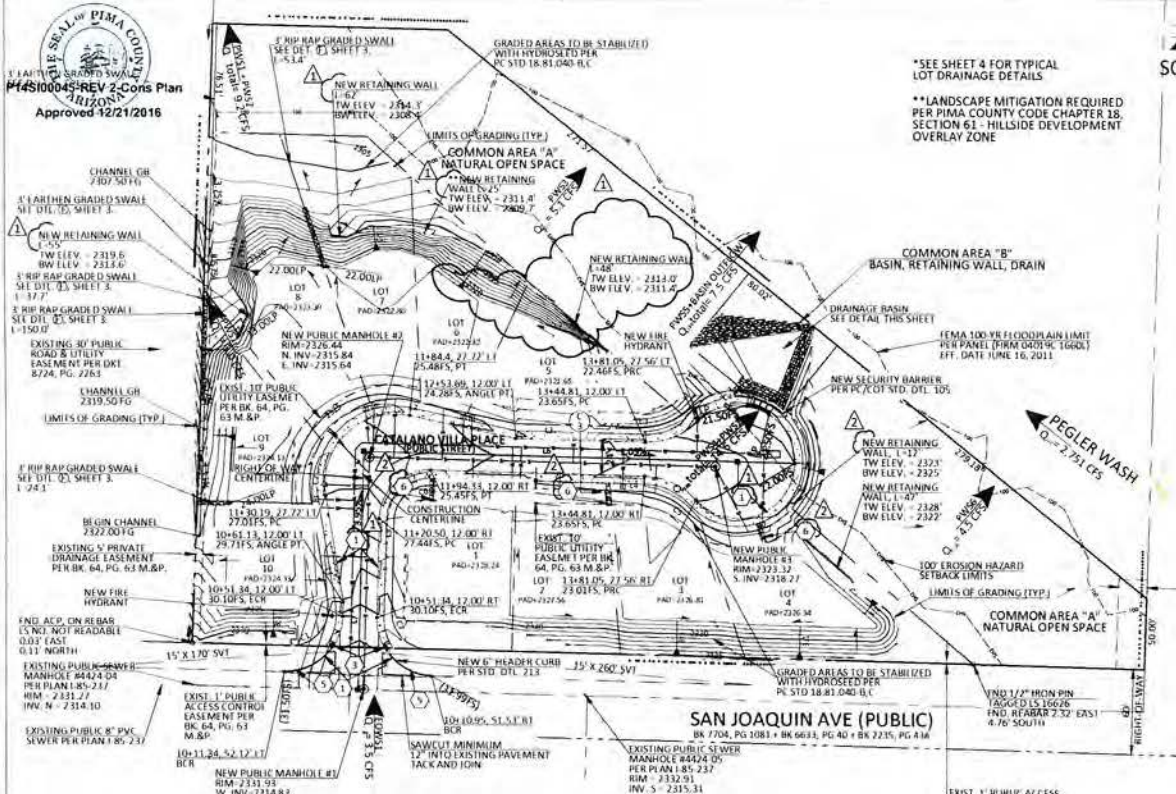
SITE CONSTRUCTION PLAN for ESTATES AT SAN JOAQUIN cover sheet

NO.	DATE	REVISION	BY	CHK
1	05-12-2024	FINAL LOCATION AND LAYOUT	JP	1
2				4

1-800-782-5348

CYPRESS CIVIL DEVELOPMENT
1200 WEST CASSIM LANE
TUCSON, ARIZONA 85704
PH: (520) 800-4276
FAX: (520) 800-4276
E: info@cypresscivil.com

1200 WEST CASSIM LANE
TUCSON, ARIZONA 85704
PH: (520) 800-4276
FAX: (520) 800-4276
E: info@cypresscivil.com



*SEE SHEET 4 FOR TYPICAL LOT DRAINAGE DETAILS

**LANDSCAPE MITIGATION REQUIRED PER PIMA COUNTY CODE CHAPTER 18, SECTION 61 - HILLSIDE DEVELOPMENT OVERLAY ZONE

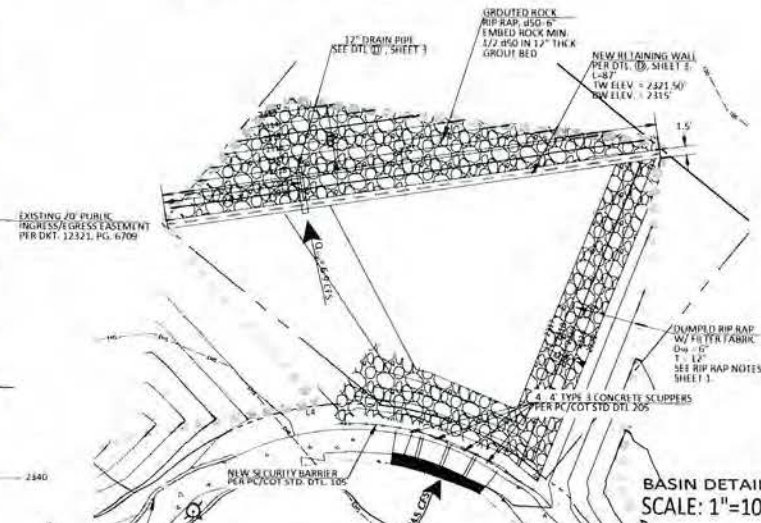
SCALE: 1"=40'

LINE #	LENGTH (FT)	BEARING
11	75.00	.....
12	75.00	.....
13	86.49	.....
14	146.15	.....
15	65.00	.....

CURVE #	LENGTH (FT)	RADIUS (FT)	DELTA
C1	89.21	25.00	.....
C2	116.70	50.00	.....
C3	57.99	50.00	.....
C4	231.06	50.00	.....
C5	57.99	50.00	.....
C6	99.27	25.00	.....
C7	89.27	25.00	.....

WATERSHED	DRAINAGE AREA	FLOW
PEGLER WASH	1.405 ACRES	2.751 CFS
PWS1	0.39 ACRES	3.0 CFS
PWS2	1.32 ACRES	9.2 CFS
PWS3	0.77 ACRES	5.1 CFS
PWS4	0.39 ACRES	1.5 CFS
PWS5	1.80 ACRES	14.5 CFS
PWS6	0.72 ACRES	4.5 CFS

#	LENGTH (FT)	RADIUS (FT)	BEARING
16	265.72	.....	.....
18	73.83	47.00	.....
17	120.50	.....	.....



BASIN DETAIL SCALE: 1"=10'

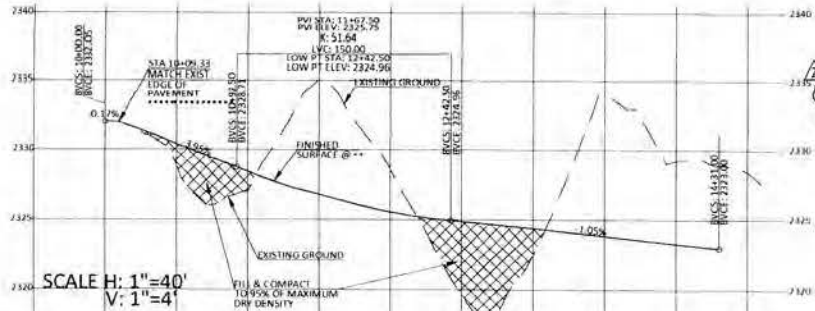
FOR REVISION #1 ONLY:

FOR REVISION #2 ONLY:



KEYNOTES

- 1. NEW 6" VERTICAL CURB TYPE 2 PER PC/COT STD DTL 209.
- 2. NEW CONCRETE CURB ACCESS RAMP WITH 2" WIDE DETECTABLE WARNING STRIP PER PC/COT STD 207.
- 3. NEW VERTICAL CURB TERMINATION PER PC/COT STD DTL 212.
- 4. NEW CONCRETE AND RIP RAP EROSION PROTECTION.



SCALE H: 1"=40'
V: 1"=4'

CATALANO VILLA PLACE
CENTERLINE PROFILE
STA 10+00.00 TO 14+31.00

PRIVATE DETENTION BASIN	
Q ₁ (max)	14.5 CFS
Q ₂ (max)	6.9 CFS
RETENTION VOLUME	1,550 CF
DEFENTION VOLUME	7,645 CF
TOP ELEVATION	2321.5 FT
BOTTOM ELEVATION	2317 FT
Q ₂ WSE	2320.4 FT

NOTE: AN AS-BUILT CERTIFICATION OF THE DETENTION BASIN SHALL BE APPROVED BY THE REGIONAL FLOOD CONTROL DISTRICT PRIOR TO FINAL INSPECTION.

SITE ADDRESS

ESTATES AT SAN JOAQUIN
LOTS 1 THROUGH 10
AND COMMON AREAS "A" AND "B"

OWNER/DEVELOPER

MIL VINCE CATALANO
3500 WEST CASSIM LANE
TUCSON, ARIZONA 85704
PH: (520) 400-4274
EMAIL:

SITE CONSTRUCTION PLAN
for
ESTATES AT SAN JOAQUIN
plan and profile

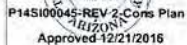
CYPRESS PROJECT NO. 18-040
2002 north country club road
SUITE 100
TUCSON, ARIZONA 85710
P.O. BOX 991-5214
enr@khal@cypressnvil.com

CYPRESS
CONSTRUCTION
SOLUTIONS



NO.	DATE	REVISION	BY
1	10-18-16	WALL & SIDEWALK REVISION	SPH
2	12-12-16	EROSION PROTECTION & WALL REV	SPH
3			
4			

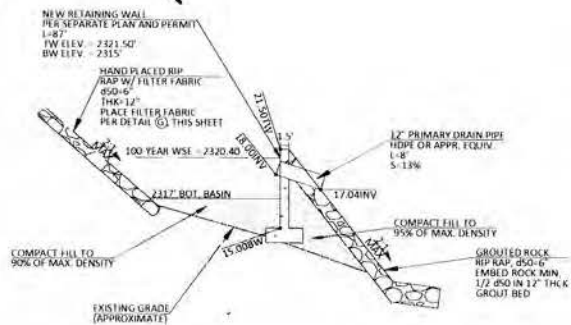
1-800-782-5348

PAVEMENT SECTION PER
PATTISON ENGINEERING
LETTER DATED 12-07-16

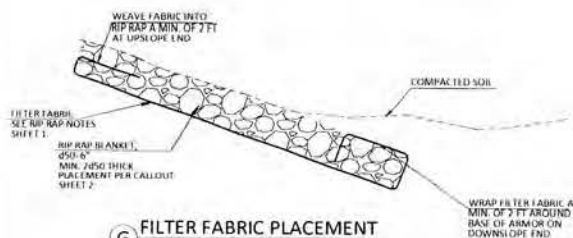
(A) TYPICAL PAVEMENT SECTION
SCALE: 1" = 1'



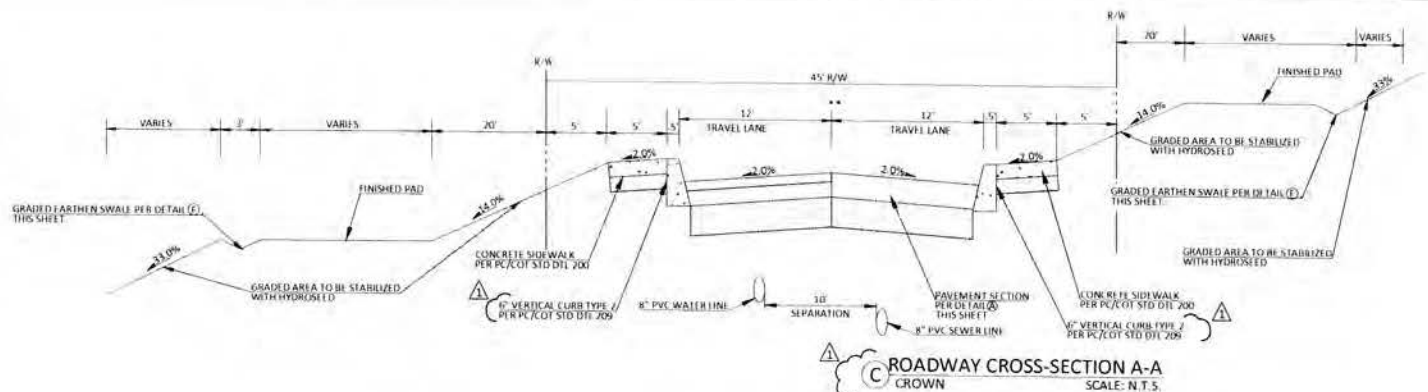
~~(B) CONCRETE WEDGE CURB
PC/COT STD. DTL. 209~~



(D) RETENTION BASIN PROFILE
N.T.S.

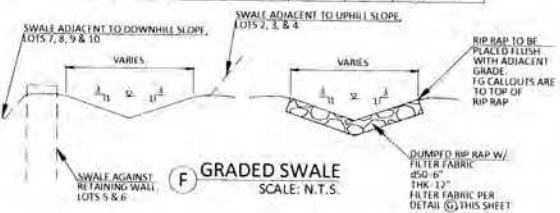


G FILTER FABRIC PLACEMENT
N.T.S.

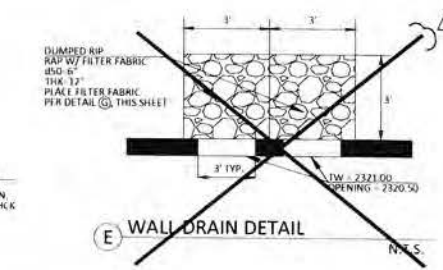


ROADWAY CROSS-SECTION A-A
CROWN SCALE: N.T.S.

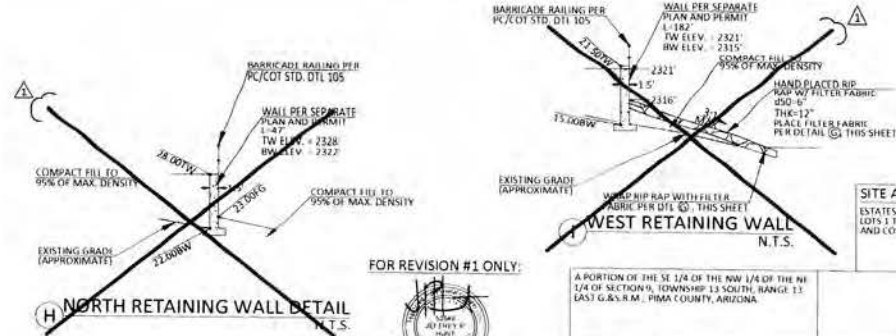
SWALE TABLE						
WIDTH (FT)	SLOPE	SURFACE	n	Grasp	Vcap	LOCATION
3	1%	EARTHEN	.025	1.7 CFS	2.3 FPS	REAR, LOTS 2-10
3	2%	EARTHEN	.025	3.0 CFS	3.9 FPS	S. PROP. BOUND.
3	8%	RIP RAP	.035	3.5 CFS	4.6 FPS	S. PROP. BOUND.
3	33%	RIP RAP	.035	7.0 CFS	9.1 FPS	LOTS 5-10



F GRADED SWALE
SCALE: N.T.S.



(F) WALL DRAIN DETAIL



~~(H) NORTH RETAINING WALL DETAIL~~
~~NTS.~~

FOR REVISION #1 ONLY



FOR REVISION #2 ONLY:



P14SI00045
REF: Co9-D4-14
Co9-D4-11
Cu7-00-20
P1205-076

SITE ADDRESS

OWNER/DEVELOPER

ESTATES AT SAN JOA
LOTS 1 THROUGH 10
AND COMMON AREA

MR. VINCE CATALANO
1970 WEST CASSIM LANE
TUCSON, ARIZONA 85704
PH: (520) 400-4226

SITE CONSTRUCTION PLAN
for
ESTATES AT SAN JOAQUIN
details

A PORTION OF THE SE 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 11 EAST G.&S.R.M., PIMA COUNTY, ARIZONA.

EXPRESS PROJECT NO. 14 DAY

CYPRESS
CIVIL DEVELOPMENT
strength sustainability

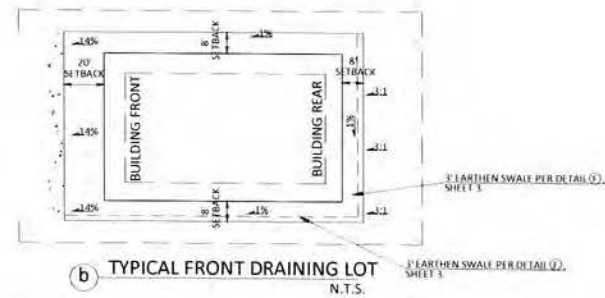
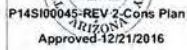
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№	ГВГ	ВГГ/мг/г	ВГ
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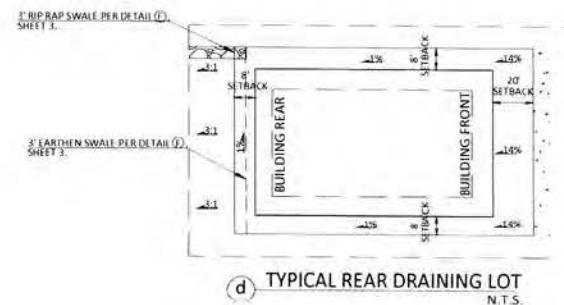
	US-16, 26	WALL & SIDEWALK REVISION	(RM)
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	12-12-16	EROSION PROTECTION + WALL REV	10H
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1-800-782-5348



LOT	TYP. LOT DETAIL
1	a
2	a
3	a
4	b
5	c
6	d
7	e
8	d
9	d
10	d



P14SI00045
REF: C09-04-14
C09-04-11
C07-00-20
P1205-076

SITE ADDRESS
ESTATES AT SAN JOAQUIN
LOTS 1 THROUGH 10
AND COMMON AREAS "A" AND "B"

OWNER/DEVELOPER
MR. VINCE CATALANO
1920 WEST CASSIM LANE
TUCSON, ARIZONA 85704
PH: (520) 400-4226
E-MAIL:

A PORTION OF THE SE 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 13 EAST G. & S. R.M., PIMA COUNTY, ARIZONA.

SITE CONSTRUCTION PLAN
for
ESTATES AT SAN JOAQUIN
details

CYRELESS PROJECT NO. 14 056

CYPRESS
CIVIL DEVELOPMENT
Strength • Sustainability

2302 north country club road
suite #9
tucson, arizona 85716
p: 520-991-5211
e: kmhall@cypressevil.com

[illegible]