



BOARD OF SUPERVISORS AGENDA ITEM REPORT

Requested Board Meeting Date: 4/4/2023

*= Mandatory, information must be provided

Click or tap the boxes to enter text. If not applicable, indicate "N/A".

***Title:**

P23CU00001 MARIANI – E. TANQUE VERDE ROAD

***Introduction/Background:**

This is a request for a Type II Conditional Use Permit for multiple dwellings on one parcel in accordance with Section 18.41 of the Pima County Zoning Code.

***Discussion:**

The proposed Type II Conditional Use Permit is for four, one-story, detached dwellings in accordance with Section 18.41 of the Pima County Zoning Code. The subject property is addressed as 11208 E. Tanque Verde Road and is zoned RVC (Rural Village Center) zone and CR-1 (Single-Residence). The subject property acreage is 0.76 acres. The staff report dated January 30, 2023 contained a typo that stated that the property is 4.7 acres.

***Conclusion:**

This Type II Conditional Use request will provide additional housing stock by allowing four new, one-story, detached residential buildings on the property.

***Recommendation:**

Staff and the Hearing Administrator recommend APPROVAL of the request.

***Fiscal Impact:**

N/A

***Board of Supervisor District:**

1 2 3 4 5 All

Department: Development Services, Planning Division Telephone: 520-724-8800

Contact: Thomas Drzazgowski, Chief Zoning Inspector Telephone: 520-724-6675

Department Director Signature:  Date: 3/15/23


Deputy County Administrator Signature:  Date: 3/15/2023

County Administrator Signature:  Date: 3/15/2023



PIMA COUNTY
DEVELOPMENT SERVICES

TO: Honorable Steve Christy, District #4

FROM: Chris Poirier, Deputy Director  For
Public Works-Development Services Department-Planning Division

DATE: March 14, 2023

SUBJECT: **P23CU00001 MARIANI – E. TANQUE VERDE ROAD**
(Conditional Use Type II – Multiple Dwellings (four one-story single-residences) in the RVC zone)

The above referenced Conditional Use Permit is within your district and is scheduled for the Board of Supervisors' **TUESDAY, April 4, 2023** hearing.

REQUEST: Stephen Mariani requests a **Type II Conditional Use Permit for Multiple Dwellings (four one-story residences)** on (parcel 205-52-006K) in accordance with Section 18.41 of the Pima County Zoning Code in the RVC (Rural Village Center) zone on property located at the south of the T-intersection of E. Tanque Verde Road and N. Rebecca Avenue, addressed as 11208 E. Tanque Verde Road. The property is zoned RVC (Rural Village Center) zone and CR-1 (Single-Residence) zone.

OWNER: Stephen Mariani

DISTRICT: 4

STAFF CONTACT: Anita McNamara, AICP, Senior Planner

PUBLIC COMMENT TO DATE: Sixteen public notices were sent to owners within the mailing area. As of March 14, 2023, two letters/emails in opposition have been received from owners inside the noticed mailing area and 21 letters/emails have been received from owners from outside the noticed mailing area.

STAFF AND HEARING ADMINISTRATOR RECOMMENDATION: **APPROVAL SUBJECT TO STANDARD AND SPECIAL CONDITIONS**

MAEVEEN MARIE BEHAN CONSERVATION LANDS SYSTEM (CLS): The subject property is located outside the Maeveen Behan Conservation Lands System Multiple Use Management Areas.

TD/AM/ds
Attachments



PIMA COUNTY

DEVELOPMENT SERVICES

BOARD OF SUPERVISORS MEMORANDUM

Subject: P23CU00001

Page 1 of 4

FOR APRIL 4, 2023 MEETING OF THE BOARD OF SUPERVISORS

TO: HONORABLE BOARD OF SUPERVISORS
FROM: Chris Poirier, Deputy Director
Public Works-Development Services Department-Planning Division
DATE: March 14, 2023

ADVERTISED ITEM FOR PUBLIC HEARING

CONDITIONAL USE PERMIT

P23CU00001 MARIANI –E. TANQUE VERDE ROAD

Stephen Mariani requests a Type II Conditional Use Permit for multiple dwellings (four one-story single-residences (parcel code 205-52-006K) in accordance with Section 18.41 of the Pima County Zoning Code in the RVC (Rural Village Center) zone, located at the south of the T-intersection of E. Tanque Verde Road and N. Rebecca Avenue, addressed as 11208 E. Tanque Verde Road. The property is zoned RVC (Rural Village Center) zone and CR-1 (Single-Residence) zone. Staff and the Hearing Administrator recommend **APPROVAL SUBJECT TO STANDARD AND SPECIAL CONDITIONS.** (District 4)

Summary of the Hearing Administrator Hearing (February 8, 2023)

In accordance with Pima County Zoning Code Section 18.97.030.F.3, a public hearing was held on this application on February 8, 2023 via Microsoft Teams. The applicant presented the case to the hearing administrator and answered his various questions.

Four (4) members of the public appeared at the hearing to speak on the matter, all of whom expressed their opposition to the request. The primary concerns raised were: 1) a belief that smaller, higher-density residential units are inappropriate due to the established pattern of larger lots (one-acre or more) nearby and predominantly throughout the Tanque Verde Valley; 2) the attendant increase in people and traffic that accompanies higher densities; 3) the existing traffic congestion that already attends Emily Gray Junior HS and the perceived worsening of it due to the proposed higher-density units; 4) the belief that this area is a “ranch” community; and 5) a concern that the units would be used for vacation rentals such as VRBO and Air B&B, thereby introducing a transient element to an otherwise stable residential population.

Other questions raised pertained to the presence of a new leach field and septic facility, as well as whether the proposed open space on the east side of the property would be for public or private use.

Twenty-one (21) separate emails were also received on this case prior to the public hearing. Some of these were from speakers who also attended the 8 February public hearing. All of the twenty-one emails were opposed to the project. Many were a duplicated form letter and nearly all incorrectly characterized the application as a change in zoning (rezoning) request; this is a misrepresentation. The property is currently zoned Rural Village Center (RVC) and no change in that zoning is being requested. Some of the submitted objections also referred to the request as a variance; this is also incorrect, in that no variance from the Pima County Zoning Code is being requested.

After hearing all of the above, and after allowing the applicant to make their final comments in response to the public testimony, the Hearing Administrator closed the public hearing.

HEARING ADMINISTRATOR'S COMMENTS

The following comments are put forth for clarity as to the Hearing Administrator's reasoning and formal recommendation to the Board of Supervisors:

Residential Density. It is a common mindset, amongst many residents of the Tanque Verde Valley (TVV), that only lower-density, large-lot residential is appropriate. While this does constitute much of the existing Valley, there are also large masterplanned sectors where much smaller lots predominate. In the case of this present conditional use permit request, the site in question falls within an established mixed-use node where a number of higher-intensity uses have co-existed for some time. The addition of four (4) detached, single-family residences is in no way a departure from this mixed-use matrix. The implementation of appropriate perimeter buffers per the Zoning Code will provide sufficient respect and recognition of the adjacent lower-density residences. What's more, the type of higher-density residential proposed here (though small in magnitude) furthers the smart-growth and sustainability principles which underlie Pima County's comprehensive plan.

Traffic. The proposed four (4) residences will generate less than 40 vehicle trips per day. This is a negligible quantity in traffic-engineering terms and will have no discernible impact on the capacity of Tanque Verde Road. The complaints about horrible traffic in this area stem directly from the intensive student drop-off and pick-up times associated with Emily Gray Junior High School. While this weekday dynamic makes the morning and afternoon peak-hours a significant challenge for all residents of the area, it is a common reality of public schools throughout the metropolitan region, especially those in open enrollment districts like Tanque Verde Unified District No. 13. This daily traffic reality is not a justification for denying future residential development in the area.

Vacation Rentals. The residences proposed here are private rental units, not for-sale homes. This is an important market sector that is generally underserved in this area. More to the point, the fact that they will be rented under long-term leases curtails their use for vacation rentals such as VRBO or Air B&B. While federal law precludes local-government zoning authorities from regulating vacation rentals, it is common practice that private leases prohibit such short-term rentals so as to specifically address and manage this issue. In this respect, single-family rental units like those being proposed here provide a better safeguard than for-sale homes.

Septic Tank & Leach Field. The Pima County Department of Environmental Quality (PCDEQ) has extensive permitting and inspection protocols already in place to ensure the safe installation and operation of septic facilities. The Tanque Verde Valley already has literally thousands of septic tanks and leach fields in on-going operation. The Hearing Administrator finds that PCDEQ regulations and processes will provide all needed public health and safety protections attendant to the new septic facilities being proposed with these four new residential units.

HEARING ADMINISTRATOR'S RECOMMENDATION

After having visited the subject property, considering the facts and testimony presented at the public hearing, and contemplating the written comments submitted by surrounding property owners, the Hearing Administrator recommends APPROVAL of this request for a Type II conditional use permit for four (4), one-story, detached residential units. The applicant is advised that this is a formal recommendation to the Board of Supervisors, who will make the ultimate and final decision on this CUP request.

Should the Board of Supervisors agree with the Hearing Administrator's recommendation for approval, it is suggested that this approval be granted subject to the following standard **and** special conditions:

Standard Conditions & Requirements per the Pima County Zoning Code

1. Adherence to all requirements of Pima County Zoning Code Section 18.41, Rural Village Center (RVC) zone, and Section 18.77.040 (Scenic Routes).

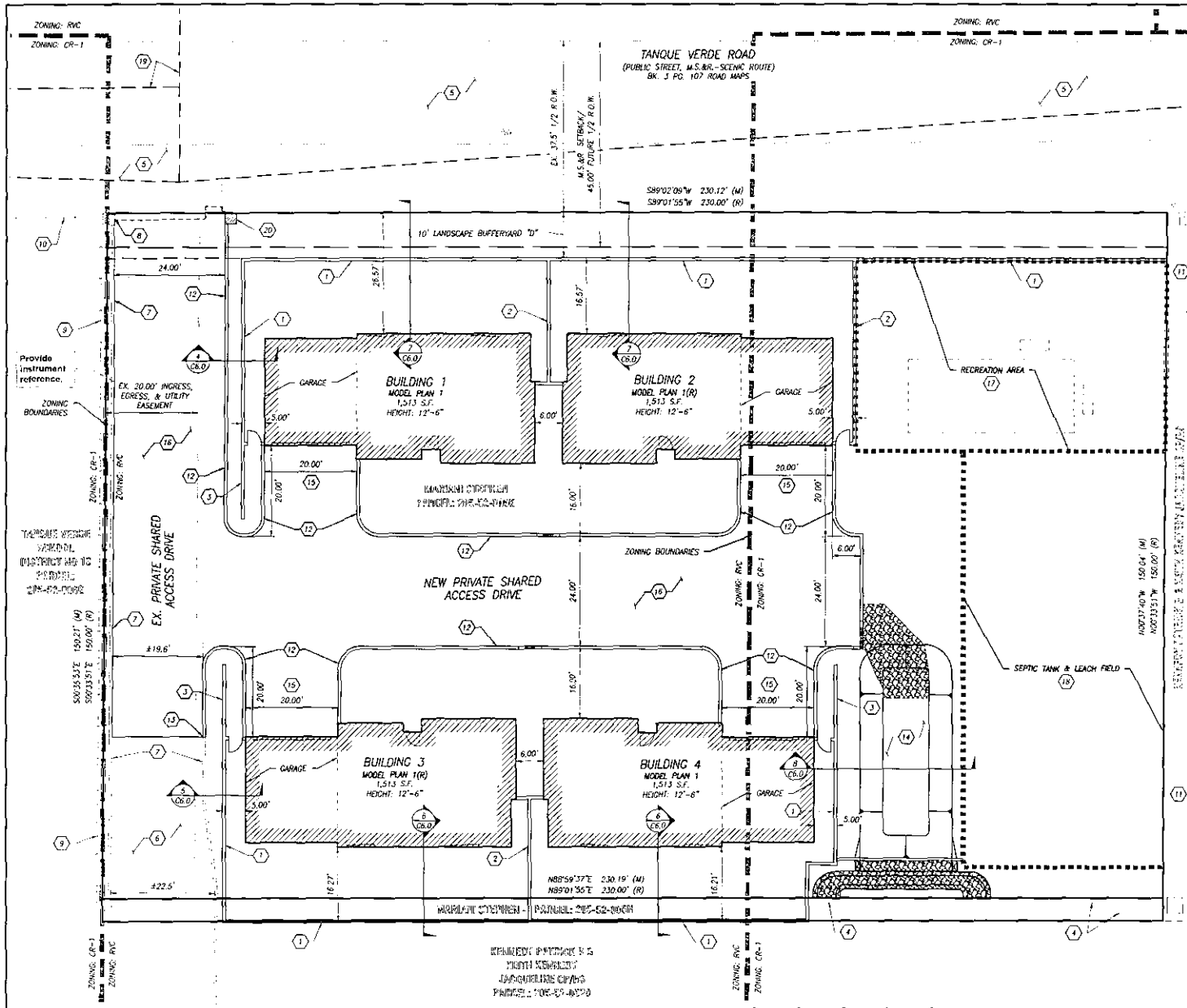
Special Conditions

1. The layout of the project shall be in substantial conformance with the site plan shown in Site Construction Permit (SCP) set, Case No. P22SC00054, as submitted in conjunction with this conditional use permit application.
2. The heights of the buildings shall not exceed thirteen feet (13').
3. No portion of the living areas of the four (4) dwelling units may be located within the CR-1 zoned portion of the property. Only the attached garages and accessory uses may be located in the CR-1 zoned areas of the site. The garages may never be converted or enclosed for use as interior living space.
4. The open space area shown on the submitted site plan shall be used for passive recreation activities only, such as trails, picnic tables, and ramadas, subject to all appropriate permits for such elements being properly secured from Pima County. The owner/ developer is responsible for the dutiful maintenance and upkeep of the open space area.
5. It is acceptable for the applicant to fence the property and open space areas for security purposes if so desired, subject to obtaining all applicable permits for such fencing.
6. As part of the Site Construction Plan (SCP) approval, the existing easement for ingress, egress and utilities over the west twenty feet (20') of the property shall be revised to include the full width of the proposed driveway.
7. The easement for ingress, egress and utilities within the parcel shall be paved as determined during the Site Construction Plan (SCP) review & approval.

8. That portion of the driveway within the public Tanque Verde Road right-of-way shall be constructed to Pima County Standards. At a minimum, a paved radius of twenty-five feet (25'), with concrete header for the curb return, shall be constructed for the east side of the driveway.

TD/AM/ds
Attachments

C: Stephen Mariani, Applicant
Tom Drzazgowski, Chief Zoning Inspector




KEYNOTES

1. NEW CMU RETAINING WALL & 6" HIGH SCREEN WALL PER SEPARATE DESIGN AND BUILDING PERMIT.
2. NEW 6" HIGH CMU SCREEN WALL PER SEPARATE DESIGN AND BUILDING PERMIT.
3. NEW CMU RETAINING WALL PER SEPARATE DESIGN AND BUILDING PERMIT.
4. EXISTING CMU SCREEN WALL.
5. EXISTING A.C. PAVEMENT TO REMAIN.
6. EXISTING SHARED ACCESS DRIVE TO REMAIN.
7. EXISTING CONCRETE VERTICAL CURB TO REMAIN.
8. EXISTING CMU COLUMN TO REMAIN.
9. EXISTING CHAINLINK FENCE WITH SLATS TO REMAIN.
10. EXISTING WROUGHT IRON FENCE TO REMAIN.
11. EXISTING WIRE FENCE TO REMAIN.
12. NEW 6" REVEAL CONCRETE VERTICAL CURB PER P.A.C. STANDARD DETAIL 209, TYPE 2.
13. JOIN NEW TO EXISTING CURB PER P.A.C. STANDARD DETAIL 211.
14. NEW FIRST FLUSH RETENTION BASIN, SEE GRADING PLAN.
15. TWO 9' X 20' VISITOR PARKING SPACES IN DRIVEWAY.
16. NEW A.C. PAVEMENT PER DETAIL 1 SHEET C6.0.
17. NEW RECREATION AREA, SEE LANDSCAPE PLANS.
18. NEW SEPTIC TANK & LEACH FIELDS PER SEPARATE DESIGN & PERMIT.
19. SIGHT VISIBILITY TRIANGLES - WEST: 21' X 5.5' EAST: 45' X 5.5'
20. NEW CMU COLUMN SET AT NEW PAVEMENT WIDTH.

TYPICAL FOUNDATION WALL
 PER DETAIL:
 CMU-100
 SEE SHEET C3.0.1 LOT 1
 W.C. 2/15/19

GRADING LIMITS FOR
 EXISTING DRIVEWAY
 PARALLEL TO TANQUE VERDE
 STREET (SCALE 1"=10')
 W.C. 1/25

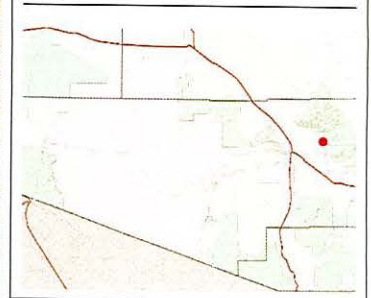
NO. 001214		REV. 02		PRELIMINARY CONSTRUCTION
 GRENER ENGINEERING, INC. Structural & Civil Engineering Consultants				
8000 P. #11 BOWEN PLAZA SUITE A120, TUCSON, ARIZONA 85710 PHONE: 520.326.7700 FAX: 520.326.7701				
SITE PLAN				
Project: 0011 CONSTRUCTION FOR PHASE 1 OF TANQUE VERDE TOWNHOMES 11208 E. TANQUE VERDE RD., TUCSON, AZ 85749				
A PORTION OF SECTION 10, T15S, R11E, G1A AND SAL1 HWY #61 (BOWEN PLAZA COUNTY, ARIZONA)				
Date:	3/7/2022	Job Number:	22018	Scale: C3.0
Drawn By:	MC	Company:	GRENER	
Checked By:	MC	Client:	N/A	
Scale:	AS SHOWN	Date:	3/7/2022	

P23CU00001 Aerial Photo

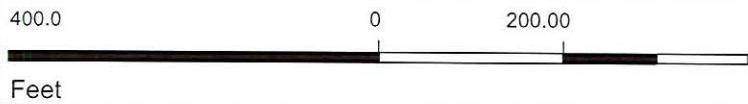


Legend

- Addresses - Facility (points)
- Parcels



Notes:



This map is static output from an internet mapping site and no warranty is expressed or implied as to the accuracy, reliability, currency or completeness of the data, and is for reference only



MEMORANDUM

PUBLIC HEARING – February 8, 2023

DATE: January 30, 2023
TO: Jim Portner, AICP, Hearing Administrator
FROM: Anita McNamara, AICP, Senior Planner
SUBJECT: **P23CU00001 MARIANI – E. TANQUE VERDE ROAD**
Type II Conditional Use – Multiple Dwellings (four one-story residences)
in the RVC zone

LOCATION:

The subject site is located on the south side of E. Tanque Verde Road, south of the T-intersection of E. Tanque Verde Road and N. Rebecca Avenue. The property is zoned RVC (Rural Village Center) and CR-1 (Single Residence).

SURROUNDING LAND USE OR CONTEXT:

To the west of the subject property is the bus parking and maintenance yard area for the Emily Gray Junior High School on property zoned CR-1 (Single Residence), to the north are properties zoned RVC (Rural Village Center) with a Circle-K convenience store and a church, to the east is CR-1 zoned subdivided residential lots. E. Tanque Verde Road is a designated Scenic, Major Route on the Major Street and Scenic Routes Plan.

PUBLIC COMMENT:

As of the writing of this report staff has received no comments.

BACKGROUND INFORMATION

The subject property, parcel 20552006K, is a 4.7 acre currently vacant parcel. The property has two zoning designations, RVC and CR-1. Four detached dwelling units each with an attached two-car garage are proposed. The living space areas of each dwelling will be located in the RVC zoned portion while the attached garages for each dwelling will be located in the CR-1 zoned portion as determined and stipulated by the Planning Official and Chief Zoning Inspector. The property is accessed directly from E. Tanque Verde Road.

The purpose of the RVC zone is to provide a mixed-use (commercial and residential) village center for the convenience and necessity of a suburban or rural area. The RVC regulations are designed to maintain a suburban character of commercial areas along a scenic route (Tanque Verde Road is a designated scenic and major route) and provide

safe access to and from the village center. To ensure compatibility and mitigate any potential impacts of uses, all RVC uses, except single-family residential, are Type II conditional uses requiring notice of surrounding property owners. The subject property has no previously approved Conditional Use Permits.

This request is for a Type II Conditional Use Permit to allow four detached residential dwellings (rental apartments) with attached garages. The residential portions of each dwelling will be located in the RVC area of the site, with each dwelling's attached garage located in the CR-1 area of the site. As CR-1 is a single-residence zoning district, a condition is proposed requiring that the only portions of the structures that may be located in the CR-1 area of the property are the attached garages and that the garages may not be enclosed to living space.

The subject parcel is located outside of the Maeveen Marie Behan Conservation Lands System.

DEPARTMENT OF TRANSPORTATION

This Type 2 conditional use permit (CUP) request is to allow 4 detached single story residential apartment units on a site located south of Tanque Verde Road, approximately 330 feet east of Tanque Verde Village Place.

Adjacent to the site, Tanque Verde Road is a county maintained paved two-lane roadway with a two-way left-turn lane and paved shoulders, with a posted speed limit of 45 miles per hour (mph). Tanque Verde Road is classified as an Urban Major Collector by its federal functional classification, and designated as Scenic/Major Route on the Scenic Routes Plan. The site is subject to the requirements of zoning code section 18.77.040 Scenic Routes, and meets the setback requirements of section 18.77.040.E.2.a.

Access to the site is proposed at the northwest corner of the site over a 24 feet driveway. There is an existing easement for ingress, egress and utilities over the west 20 feet of the site that serves two residential parcels to the south. Therefore, the easement shall be revised to include the full-width of the proposed driveway along the west side of the property.

The most recent traffic counts for Tanque Verde Road is 10,345 average daily trips (ADT) with an approximate capacity of 12,390 ADT. The proposed 4 residential apartment units will generate approximately 38 ADT. The proposed development is not expected to negatively impact the capacity of Tanque Verde Road.

The Department of Transportation has no objection to the request for a conditional use permit subject to condition #3A-C.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the conditional use request subject to the following standard and special conditions:

1. Adherence to all applicable requirements of Pima County Zoning Code section 18.41 RVC Rural Village Center zone.
2. No portion of the living areas of the dwellings may be located in the CR-1 zoned area of the property. Only the attached garages, and other accessory uses may be located



in the CR-1 zoned areas of the property. The garages may not be enclosed to living space.

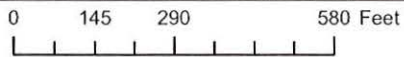
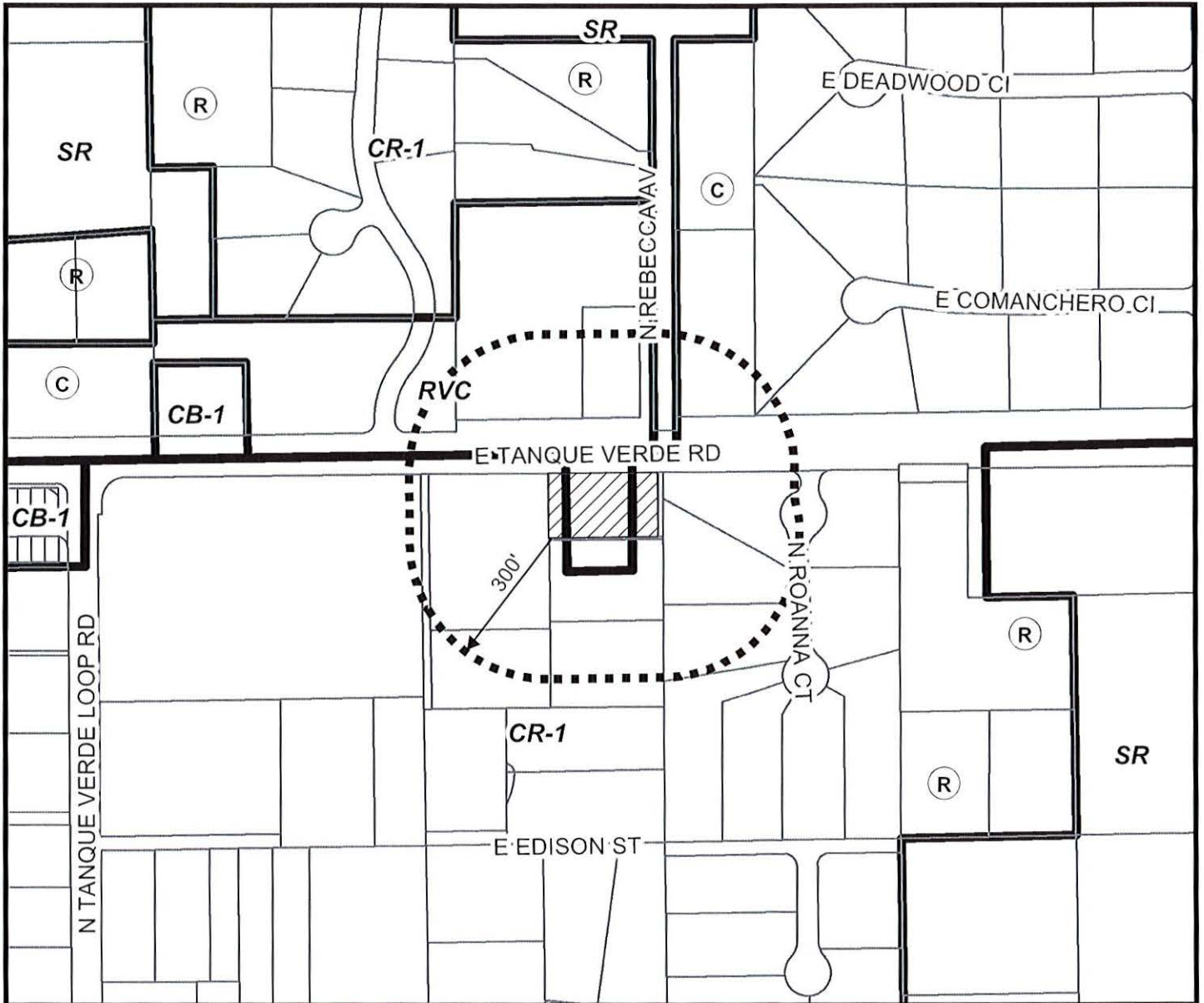
3. The Department of Transportation recommends approval of the proposed conditional use permit given the following conditions be applied:

- A. Prior to development plan approval, the existing easement for ingress, egress and utilities over the west 20 feet of the site shall be revised to include the full-width of the proposed driveway.
- B. The easement for ingress, egress and utilities within the parcel shall be paved as determined at the development plan submittal.
- C. That portion of the driveway within the right-of-way shall be constructed to Pima County Standards. At a minimum a paved 25 feet radii with concrete header at the east side of the driveway shall be constructed.

c: Tom Drzazgowski – Chief Zoning Inspector
Stephen Mariani – Applicant

Case #: P23CU00001
 Case Name: MARIANI - E. TANQUE VERDE ROAD
 Tax Code(s): 205-52-006K

 Subject Property
 300' Notification Area



**PIMA COUNTY DEVELOPMENT SERVICES DEPARTMENT
 PLANNING DIVISION**

Notes: **CONDITIONAL USE PERMIT - TYPE II**



Map Scale: 1:4,000

Map Date: 1/13/2023 - ds

Neighborhood Activity Center (NAC)

- a. Objective: To designate lower intensity mixed-use areas designed to provide goods and services within or near residential neighborhoods for day-to-day and weekly living needs. Neighborhood Activity Centers provide lower-intensity commercial services. For example a grocery market may be the principle anchor tenant along with other neighborhood services, such as a drugstore, variety/hardware store, self-service laundry and bank. The center may include a mix of medium-density housing types. Neighborhood Activity Centers are generally less than 25 acres in size. Larger centers provide opportunity for a mix of intensive non-residential uses and medium-density residential uses, and are to be located on arterials. Smaller mixed-use centers may contain medium-density residential uses and may be located along collector or arterial streets. All centers will have direct pedestrian and bicycle access to the surrounding neighborhoods. Individual rezoning requests do not necessarily have to be a mixed-use project; however, the application must demonstrate how the project serves to create or enhance the mixed-use character of the designated activity center as a whole.
- b. Residential Gross Density: Residential gross density, if applicable, shall conform to the following:
 - 1) Minimum – 5 RAC
 - 2) Maximum – 12 RAC.
- c. Residential Gross Densities for Developments Using Transfer of Development Rights (TDRs): Projects within designated Receiving Areas utilizing TDRs for development shall conform to the following density requirements:
 - 1) Minimum – 5 RAC
 - 2) Maximum – 8 RAC.



201 N. Stone Avenue, Tucson, AZ 85701
(520) 724-9000
www.pima.gov/developmentservices

BIOLOGICAL IMPACT REPORT

(Not applicable for rezonings that require a site analysis)

The Biological Impact Report assists staff in assessing a proposed project's potential to impact sensitive biological resources and is required by the Pima County Zoning Code Chapter 18.91. A project's design should conserve these important resources.

The report will include information provided by both Pima County Planning staff (Part I) and the Applicant (Part II).

INSTRUCTIONS FOR SAVING FORM: 1) Download form to computer. 2) Fill out form as applicable. 3) Save completed form to computer. 4) Submit completed form to Pima County Development Services. **If you fill out the form before you download it, the info you entered will not be saved.**

Project ID *(case no., APN no., address, or other identifying info):*

11208 E. Tanque Verde Rd.

Part I. Information Provided by Pima County Staff

Pima County Planning staff will provide the following information for the project site, as applicable:

1. Is the project located within any Maeveen Marie Behan Conservation Lands System (CLS) designation(s)? (Hold SHIFT for multiple selections)
 - Important Riparian Area
 - Biological Core
 - Multi-Use Management Area
2. Is the project within a CLS Special Species Management Area? No
3. Is the project in the vicinity of any of the six Critical Landscape Linkages? No
4. Is the project designated for acquisition as a Habitat Protection or Community Open Space property? No
5. Is the project located within a Priority Conservation Area for any of the following species?
 - a. Cactus ferruginous pygmy-owl: No
 - b. Western burrowing owl: No
 - c. Pima pineapple cactus: No
 - d. Needle-spined pineapple cactus: No

Part II. Information Provided by the Applicant

The Applicant will provide the following information to the best of their knowledge, as applicable:

1. Has the owner of the project site had any communications with County staff about Pima County potentially acquiring the property? No
If yes, provide a summary of those communications:
2. The following species are of particular interest to Pima County conservation efforts; please fill out the following table to the best of your knowledge:

Species	Ever found on project site?	If yes, date of last observation/survey?	Future surveys planned?
Cactus ferruginous pygmy owl	No <input type="checkbox"/>		SELECT
Western burrowing owl	No <input type="checkbox"/>		SELECT
Pima pineapple cactus	No <input type="checkbox"/>		SELECT
Needle-spined pineapple cactus	No <input type="checkbox"/>		SELECT

Questions about this form?
Contact the Office of Sustainability and Conservation at (520) 724-6940.



Conditional Use Permit Application

Property Owner: Stephen Mariani Phone: 520-780-4666
Owner's Mailing Address, City, State & Zip: 12360 E. Barbary Coast Rd., Tucson, AZ 85749
Applicant (if different from owner): _____ Phone: _____
Applicant's Mailing Address, City, State & Zip: _____
Applicant's or Owner's Email Address: _____
Property Address or Tax Code: 11208 E. Tanque Verde Rd., Tucson, AZ 85749
Type of Use Proposed for the Property: 2 bdrm detached homes

Discuss the proposed use and it's compatibility with the surrounding area: _____
single story residential units of complimentary design to the surrounding residential area

The applicant agrees to contact the Regional Flood Control District to discuss the proposal prior to application submittal.

The applicant agrees to contact United States Fish and Wildlife Service at scott_richardson@fws.gov and provide a written notice that an application for a conditional use permit has been submitted a minimum of 15 days prior to the public hearing date.

This application is for a (Select one):

Type I Conditional Use Type II Conditional Use Type III Conditional Use

Terms and Conditions

I confirm the information provided is true and accurate to the best of my knowledge. I am the owner of the above described property or have been authorized by the owner to make this application. (By checking the box, I am electronically signing this application.)

Date: 1-4-23

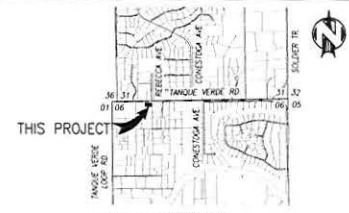
PERMITTING NOTES

- EXISTING ZONING IS RVC & CR-1.
- EXISTING USE IS VACANT.
- PROPOSED USE IS APARTMENTS AND IS PERMITTED IN ACCORDANCE WITH SECTION 18.21 & 18.41 OF THE ZONING CODE.
- THE GROSS AREA OF THE SITE IS 34,552 SF, 0.79 ACRES.
- SUBJECT PARCEL NUMBER: 205-52-006K
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD PIMA COUNTY, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE CONSTRUCTION PERMIT.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES (BETWEEN 30 AND 72 INCHES IN HEIGHT) IN ACCORDANCE WITH DEVELOPMENT STANDARD 5-01.0.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- THE OWNER SHALL BE SOLELY RESPONSIBLE FOR OPERATION, MAINTENANCE, AND LIABILITY FOR DRAINAGE STRUCTURES.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- SEWERAGE DISPOSAL WILL BE BY PRIVATE INDIVIDUAL DISPOSAL SYSTEMS. CONCEPTUAL APPROVAL BY THE PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY FOR PRIVATE INDIVIDUAL DISPOSAL SYSTEMS WILL BE OBTAINED PRIOR TO APPROVAL OF THE SITE CONSTRUCTION PERMIT.
- ALL PROPOSED WORK IN THE PUBLIC RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY EXCAVATION PERMIT OR A PRIVATE IMPROVEMENT AGREEMENT.
- NO BUILDING PERMITS SHALL BE ISSUED UNTIL A TYPE 2 GRADING PERMIT IS ISSUED.
- THE WATER PROVIDER FOR THIS DEVELOPMENT IS TUCSON WATER CO.
- MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE (DESCRIBED BY TWO (2) HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISH GRADE OF THE ROADWAY SURFACE).
- THE SITE CONSTRUCTION PERMIT IS SUBJECT TO AN APPROVED NATIVE PLANT PRESERVATION AND LANDSCAPE PLAN.
- THIS DEVELOPMENT WILL BE SERVED BY A PRIVATE SEPTIC SYSTEM.
- PRIVATELY OWNED RECREATION AREAS, RECREATION FEATURES AND PARKING IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE RECREATION AREA PLAN (RAP) AND BE FULLY FUNCTIONAL BY THE TIME 75% OF THE BUILDING PERMITS (3 LOTS) HAVE BEEN ISSUED.

After further research and after consulting with the Chief Zoning Inspector and the Planning Official, it has been determined that this use DOES require a Conditional Use Permit and review from the Design Review Committee as previously stated. This plan cannot be approved by Planning until the CUP has been approved.

SITE CONSTRUCTION PERMIT FOR TANQUE VERDE TOWNHOMES

11208 E. TANQUE VERDE RD., TUCSON, AZ 85749
SECTION 6, T-14-S, R-16-E, G&SRM, PIMA COUNTY, AZ
P22SC00054



LOCATION MAP
SCALE: 3" = 1 MILE
A PORTION OF SECTION 6, T-14-S, R-16-E, G&A AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

OWNER
STEPHEN MARIANI
ADDRESS : 12380 E. BARBARA COAST DR.
TUCSON, AZ 85749
PHONE : (520) 207-7536

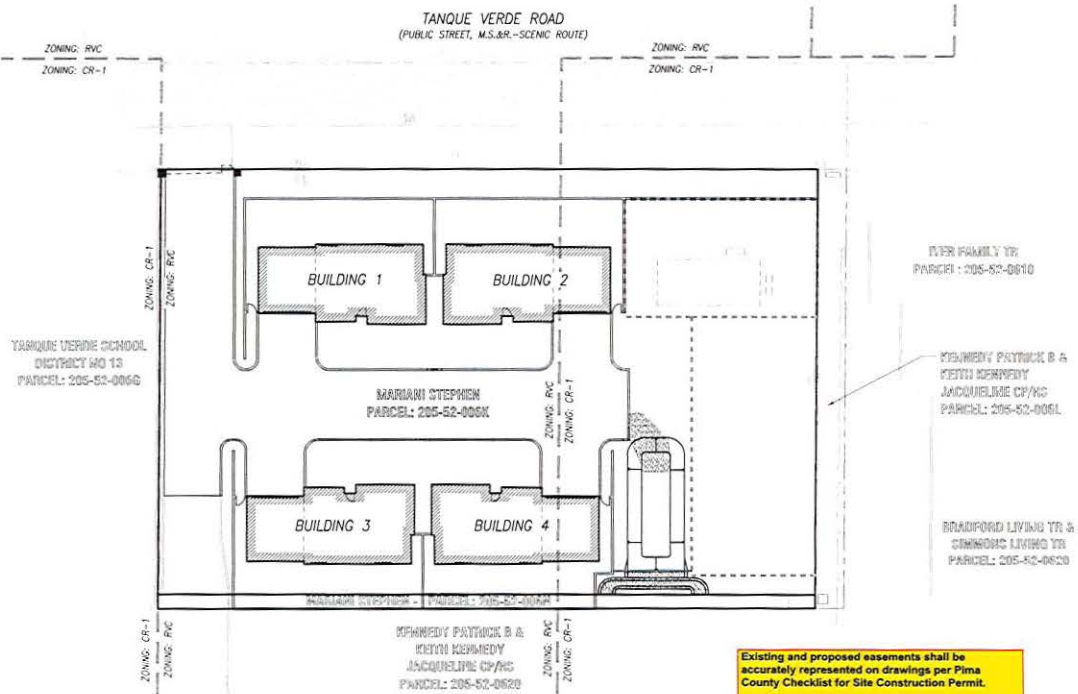
CIVIL ENGINEER
GRENIER ENGINEERING, INC.
CONTACT : JASON MORSE, P.E.
ADDRESS : 6500 E. EL DORADO PLAZA,
SUITE A120, TUCSON, AZ 85715
PHONE : (520) 326-7082
EMAIL : jmorse@greniereng.com

ARCHITECT
R. BRUCE WOODDRUFF A.L.A.
ADDRESS : 4955 W. INDIANHEAD LANE
TUCSON, AZ 85745
PHONE : (520) 349-8090
EMAIL : robertbrucewoodruff@gmail.com

LANDSCAPE ARCHITECT
NOVAK ENVIRONMENTAL, INC.
CONTACT : KAREN CESARE
ADDRESS : 4574 NORTH FIRST AVENUE, SUITE 100
TUCSON, AZ 85718
PHONE : (520) 206-0591
EMAIL : karen@novakenvironmental.com

SHEET INDEX

1	=	C1.0	COVER SHEET
2	=	C1.1	NOTES & LEGEND
3	=	C2.0	DEMOLITION PLAN
4	=	C3.0	SITE PLAN
5	=	C4.0	GRADING PLAN
6	=	C5.0	PRIVATE UTILITY PLAN
7	=	C6.0	DETAILS
8	=	C7.0	HORIZONTAL CONTROL PLAN



Existing and proposed easements shall be accurately represented on drawings per Pima County Checklist for Site Construction Permit.
Update this plan to reflect Schedule B Items 10, 11, 12, 13, 15, 16, and 21 or note them as blank easements in the General Notes.

EARTHWORK QUANTITIES

ITEMS	QUANTITY
CUT (RAW)	228 CY
FILL (RAW)	1,048 CY
NET (IMPORT)	820 CY

- QUANTITIES SHOWN ARE FROM FINISH GRADE TO EXISTING GRADE. QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY AND ENGINEER MAKES NO GUARANTEE OF ACCURACY.
- ABOVE NUMBERS DO NOT REFLECT SHRINK/SWELL, PRE-COMPACTION, OR LOSSES DUE TO OVER-EXCAVATION. ALL GRADING AND CONSTRUCTION ON THIS SITE SHALL BE PERFORMED IN ACCORDANCE WITH THE GENERAL GRADING NOTES LISTED ON SHEET 2. ANY EXCESS MATERIAL SHALL BE USED ON SITE. NUMBERS SHOWN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL PERFORM THEIR OWN INDEPENDENT, EARTHWORK ANALYSIS ON WHICH BIDS SHOULD BE BASED.

BASIS OF BEARING

BASES OF BEARINGS ESTABLISHED BETWEEN A FOUND BRASS CAP SURVEY MONUMENT BEING THE NORTH WEST SECTION CORNER OF SECTION 6 AND A RAILROAD SPIKE BEING THE NORTH 1/4 OF SECTION 6

BASIS OF ELEVATIONS

BASES OF ELEVATION: A FOUND RAILROAD SPIKE BEING THE NORTH 1/4 OF SECTION 6 WITH PIMA DOT DESIGNATION A03
ELEVATION = 2622.77 FEET

REFERENCE SITE PLAN

MINIMUM BUILDING SETBACKS

FRONT	20'
REAR	10'
SIDE	10'

VEHICULAR PARKING CALCULATIONS

	REQUIRED	PROVIDED
RESIDENTIAL PARKING: 2 PER EACH 3 BEDROOM UNIT	8	8 (IN GARAGES)
VISITOR PARKING: 1 PER EACH 4 DWELLING UNITS	1	8 (IN DRIVEWAYS)
TOTAL PARKING	9	16

PRELIMINARY NOT FOR CONSTRUCTION

6300 E. 111th Avenue, Suite A120, Tucson, Arizona 85715
Phone: 520.326.7082 • Fax: 520.326.7503

Project: **TANQUE VERDE TOWNHOMES**
11208 E. TANQUE VERDE RD., TUCSON, AZ 85749
A PORTION OF SECTION 6, T-14-S, R-16-E, G&A AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

COVER SHEET

DATE: 9/7/2022

C1.0

Drawn By: JAW
Checked By: JAW
Date: 9/7/2022
Scale: N/A (AS SHOWN)

Sheet No: 1 of 8

GENERAL NOTES

1. ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PIMA ASSOCIATION OF GOVERNMENTS DETAILS AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (P.A.G. S.S.P.I.), LATEST EDITION AND ANY AMENDMENTS THERE TO.
2. BOUNDARY, SURVEY DATA, AND EXISTING IMPROVEMENTS SHOWN ON PLAN ARE PER SURVEY PREPARED BY DARLING CONSULTANTS, 5145 S. RITA RD. STE. 2350, TUCSON, AZ 85747, AND SEALED BY RICHARD D. DARLING, RLS NO. 29868, DATED 12/3/2021. GRENER ENGINEERING, INC. ASSUMES SAID BOUNDARY, TOPO AND OTHER INFORMATION SHOWN ON SAID PLAN TO BE CORRECT AND ACCURATE FOR DESIGN, DEVELOPMENT AND ALL OTHER PURPOSES. HAS RELIED THEREON AND ACCEPTS NO RESPONSIBILITY FOR ANY DISCREPANCIES BETWEEN THE PLAN BEARINGS, DISTANCES AND QUANTITIES CALCULATED FROM THIS TOPO AND THE FINAL CONSTRUCTION QUANTITIES OR DISTANCES OR BEARINGS, INCLUDING, WITHOUT LIMITATION, ANY OWNER/CONTRACTOR OR PAYMENT DISPUTES CREATED AS A RESULT OF THESE DISCREPANCIES.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
5. A COPY OF THE APPROVED PLANS, PERMITS AND ANY REPORTS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL GRADING APPROVAL.
6. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
7. CONTRACTOR SHALL CALL BLUE STAKE (1-800-782-5348) TO VERIFY LOCATION OF ALL UTILITIES A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAIL, AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, AND ANY OTHER OBSTRUCTIONS DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED BY THE CONTRACTOR, ANY UNDERGROUND PIPES, IRRIGATION LINES, IRRIGATION CONTROLS, DRAINS, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER, AND IS A DEFINITE PART OF THIS PROJECT.
10. THE CONTRACTOR SHALL ONE FORTY-EIGHT (48) HOURS NOTICE WHEN HE/SHE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE/SHE SHALL ALSO DO ALL STAKE HOLES NECESSARY TO ONE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR THEIR ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
11. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S), THEIR SUCCESSORS OR ASSIGNS, (AND/OR THEIR CONTRACTOR, THEIR SUCCESSORS OR ASSIGNS AS APPLICABLE) TO PURSUE ANY NEGOTIATIONS, OBTAIN ANY AGREEMENTS AND/OR PERMITS, ETC. FROM ALL NECESSARY OWNERS, PRIVATE AND/OR GOVERNMENTAL AGENCIES IN CHARGE OF PROPERTIES AND/OR RIGHTS-OF-WAY ADJACENT TO (OR NEARBY) THIS PROJECT, THAT MAY BE REQUIRED TO DO ANY WORK (CONSTRUCTION, ACCESS, MODIFICATIONS, GRADING, DRAINAGE, STRUCTURES, ROADS, ETC.) ENCOMPASSING OR AFFECTING DIRECTLY OR INDIRECTLY THESE ADJACENT PROPERTIES AND RIGHTS-OF-WAY IN ANY CONCEIVABLE MANNER, REGARDLESS OF WHETHER OR NOT THIS WORK IS SHOWN OR DESCRIBED ON THESE PLANS.
12. THE CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
13. ALL REVISIONS TO PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE PIMA COUNTY PRIOR TO CONSTRUCTION. CONTACT CITY OF TUCSON PLANNING & DEVELOPMENT SERVICES (PDS) ENGINEERING TO DISCUSS ANY CHANGES IN DESIGN.
14. THE CONTRACTOR SHALL ADHERE TO THE CONDITIONS OF THE STATE ANTIQUITIES ACT AND NOTIFY THE ARIZONA STATE MUSEUM AND THE PIMA COUNTY ARCHAEOLOGIST IN THE EVENT HUMAN REMAINS OR FUNERARY OBJECTS ARE ENCOUNTERED.
15. ALL CONCRETE SHALL CONFORM TO PAC SSPJ SECTION 1006, CLASS S, 3000-PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
16. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES - CONTINUED

17. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL ISSUAE THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
18. A REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO A REQUEST OF FINAL INSPECTION/CERTIFICATION OF OCCUPANCY, OR RELEASE OF ASSURANCES OR WORKMAN PERMITS. AS-BUILT AND LETTERS OF COMPLETION FOR OVERALL PROJECT ARE REQUIRED.
19. THE SOLES ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTHWORK OPERATIONS INCLUDING BUT NOT LIMITED TO: CLEARING, SUBGRADE PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACKFILL, TOGETHER WITH PLACEMENT AND COMPACTION OF FILL. THE CONTRACTOR SHALL HAVE THE SOLES ENGINEER CERTIFY, IN WRITING, THAT ALL MATERIALS UTILIZED ON THIS DEVELOPMENT ARE IN CONFORMANCE WITH THE ACCEPTED PLANS AND SPECIFICATION. CERTIFICATIONS, IN WRITING, ARE TO BE RECEIVED BY THE ENGINEER AND ARCHITECT PRIOR TO REQUEST FOR FINAL INSPECTION.
20. THE CONTRACTOR SHALL CERTIFY, IN WRITING, THAT ALL IMPROVEMENTS (PRIVATE AND PUBLIC) HAVE BEEN CONSTRUCTED, PLACED, INSTALLED, ETC. IN SUBSTANTIAL CONFORMANCE WITH THE ACCEPTED PLANS FOR THIS DEVELOPMENT. CERTIFICATIONS, IN WRITING, ARE TO BE RECEIVED BY THE ENGINEER AND ARCHITECT PRIOR TO REQUEST FOR FINAL INSPECTION.
21. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE PER THE LATEST EDITION OF THE PIMA COUNTY SIGNING AND PAVEMENT MARKING DESIGN MANUALS.
22. RETAINING WALLS MUST BE APPROVED BY PIMA COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT PRIOR TO CONSTRUCTION.
23. THE CONTRACTOR SHALL WORK AROUND EXISTING TRAFFIC SIGNS WHEN GRADING UNLESS INDICATED FOR REMOVAL AND REPLACEMENT.
24. THE CONTRACTOR SHALL REMOVE THE FINE MATERIALS FROM THE BOTTOM OF THE WATER HARVESTING AREAS AND SCOURIFY THEIR BOTTOMS ONCE THE CONSTRUCTION ACTIVITIES ARE COMPLETED. IN ORDER TO REMOVE ANY FINE MATERIAL BUILD UP CAUSED BY CONSTRUCTION AND TO RESTORE SOIL PERCOLATION BMP'S MAY BE INSTALLED AT THE BASIN INLET(S) TO PREVENT THE FINE MATERIAL FROM ENTERING THE BASIN.
25. IN THE CASE WHERE WORK EXTENDS BEYOND THE EXPIRATION OF ANY PERMIT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RENEW PERMITS.
26. IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND RENEWS MAY BE REQUIRED.
27. THE APPROVED SITE CONSTRUCTION PERMIT IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ON SITE.
28. ANY PROPOSED ENGINEERING WORK TO BE DONE BELOW GRADE (I.E. TOE-DOWNS, CUTOFFS, WALLS, DRAINAGE PIPES/STRUCTURES, ETC.) SHALL NOT BE BACK FILLED UNTIL PLANNING AND DEVELOPMENT SERVICES DEPARTMENT INSPECTOR INSPECTS THE WORK AND APPROVES IT.
29. THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE PIMA COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
30. THE OWNER SHALL COORDINATE INSPECTIONS OF PRIVATE DRAINAGE FACILITIES SUCH AS ONSITE ROOF DRAINS AND STOPPERS BY A REGISTERED CIVIL ENGINEER ANNUALLY AND AFTER MAJOR STORM EVENTS. MAINTENANCE OF ONSITE PRIVATE DRAINAGE FACILITIES SHALL BE PERFORMED BY THE OWNER.
31. THE PERMITEE SHALL NOTIFY THE PDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES AND THEIR PERMANENT PROTECTIVE DEVICES, AND ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY REQUIRED REPORTS HAVE BEEN SUBMITTED.
32. PER THE TITLE REPORT SCHEDULE B EXCEPTIONS, THERE IS AN EXISTING BLANKET EASEMENT OVER THE ENTIRE PROPERTY FOR THE PURPOSE OF "ELECTRIC FACILITIES" RECORDED IN BOOK 103 OF MISCELLANEOUS RECORDS AT PAGE 316.

GENERAL GRADING NOTES

1. ALL ORGANIC MATERIAL SHALL BE REMOVED WITHIN THE CLEARING LIMITS FOR NECESSARY GRADING TO A DEPTH OF SIX (6) INCHES AND HAULLED FROM THE SITE PRIOR TO GRADING.
2. ELEVATIONS SHOWN ON THIS PLAN ARE ELEVATIONS OF FINAL IMPROVEMENTS.
3. CONTRACTOR SHALL EXERCISE EXTREME CARE TO MINIMIZE DAMAGE TO NATURAL GROWTH IN UNDISTURBED AREAS AND WORK WITHIN EASEMENTS AND ROADWAYS.
4. ALL GRADING SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
5. ALL OVER EXCAVATED SOILS AND OTHER DELETERIOUS MATERIALS SHALL BE PLACED ONLY AT APPROVED SITES.
6. A BOND SHALL BE POSTED FOR NATIVE SEEDING IF GRADING CONSTRUCTION DOES NOT COMMENCE WITHIN 60 DAYS AFTER GRUBBING. THE DISTURBED AREA SHALL BE NATIVE SEEDDED WITHIN 30 DAYS FOLLOWING THE EXPIRATION OF THE 60 DAY PERIOD.
7. BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 40.10 FOOT OF FINISH BUILDING ELEVATIONS AS STAKED BY THE ENGINEER. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 40.10 FOOT OF FINISH SUBGRADE AS STAKED BY THE ENGINEER.
8. COMPACTION OF ALL AREAS SHALL BE TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. DESIGNATION T-99. METHOD A. THOSE AREAS TO RECEIVE FILL ARE TO BE SCOURIFIED TO A DEPTH OF SIX (6) INCHES, BROUGHT TO THE PROPER MOISTURE CONTENT AND COMPACTED TO THE REQUIRED DENSITY. THE AREA SOURCE OF FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. TEST OF FILL MATERIAL WILL BE DONE AT THE OWNER'S EXPENSE.
9. THE GRADING PLAN IS IN CONFORMANCE WITH PIMA COUNTY GRADING DESIGN MANUAL & CHAPTER 18.01 OF PIMA COUNTY ZONING CODE.
10. GRADES SHOWN ON PLANS HAVE BEEN TRUNCATED. ADD 2600 TO ALL SPOT GRADES.

GENERAL PAVING NOTES

1. AGGREGATE BASE COURSE SHALL CONFORM TO PAC SSPJ SEC. 303
 2. ASPHALTIC CONCRETE SHALL CONFORM TO PAC SSPJ SECTION 406 AND THE SOILS REPORT, UNLESS OTHERWISE SPECIFIED.
 3. SUBBASE MATERIAL SHALL CONFORM TO PAC SSPJ SECTION 203
 4. PAVING CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX CORNERS, WATER METER BOXES, SANITARY SEWER MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- ASPHALT**
1. USE ALL MEANS NECESSARY TO PROTECT ASPHALT CONCRETE PAVEMENT MATERIALS BEFORE, DURING AND AFTER INSTALLATION TO PROTECT THE INSTALLED WORK OF OTHER TRADES.
 2. USE ALL MEANS NECESSARY TO PREVENT THE SPREAD OF DUST DURING THE PERFORMANCE OF WORK UNDER THIS SECTION.
 3. ASPHALTIC CONCRETE SHALL CONFORM TO P.A.G. S.S.P.I., SECTION 406, UNLESS OTHERWISE SPECIFIED.
 4. TESTS SHALL BE CONDUCTED BY AN EXPERIENCED TESTING LABORATORY EMPLOYED BY THE OWNER AND LICENSED IN THE STATE OF ARIZONA.
 5. APPLY TACK COAT TO ALL ADJACENT CONCRETE ASPHALT EDGE SURFACES.

CONCRETE

1. PROVIDE ALL LABOR, MATERIAL, TOOLS, EQUIPMENT AND SERVICES FOR CONCRETE PAVING, EQUIPMENT FOUNDATIONS AND BASES, EXTERIOR PLATFORMS AND STEPS, SPLASH BLOCKS, AND CURB AND GUTTER AS INDICATED OR REQUIRED FOR A COMPLETE INSTALLATION.
2. COMPLY WITH ALL PERTINENT SECTIONS OF THE APPROPRIATE GOVERNING AUTHORITIES STANDARD SPECIFICATIONS, AS AMENDED TO DATE.
3. THE CLASS OF EXTERIOR CONCRETE SHALL BE 3000 PSI WITH 3/8" IN MAXIMUM AGGREGATE. A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI AND A MODULUS OF RUPTURE OF 650 PSI AT 28 DAYS. MAXIMUM ALLOWABLE SLUMP SHALL BE 4-1/2 IN FOR HAND PLACEMENT.
4. FINISH CONCRETE WITH A DIRECTIONAL LIGHT BROOM FINISH PERPENDICULAR TO THE FLOW OF TRAFFIC.

ABBREVIATIONS

ABC	AGGREGATE BASE COURSE	ME	MATCH EXISTING
AC	ASPHALTIC CONCRETE	MIN	MINIMUM
AD&Q	ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY	N	NORTH
ALT	ALTERNATE	NAVD	NORTH AMERICAN VERTICAL DATUM
ANI	AMERICAN NATIONAL STANDARDS INSTITUTE AUTOMATED PLASTIC CONTAINER	NE	NORTHEAST
APC	ARCHITECTURAL	NO	NUMBER
ARCS	ARIZONA REVISED STATUTES	NOI	NOTICE OF INTENT
ASPM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NTS	NOT TO SCALE
ASPD&S	ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM	NW	NORTHWEST
BC	BANK OF CURB	OC	ON CENTER
BCC	BUSINESS CONNECTION	PC/COT	PIMA COUNTY/CITY OF TUCSON
BS	SEWER	P	PAVEMENT
BLDC	BUILDING BOULEVARD	POC	PORTLAND CEMENT CONCRETE
BLVD	BOULEVARD	POSD	PLANNING & DEVELOPMENT SERVICES
C	CONCRETE, COMPUTED	PE	POLYETHYLENE
CF	CUBIC FEET	PG	PAGE
CFS	CUBIC FEET PER SECOND	PH	PLAN NUMBER
CI	CAST IRON	PSI	POUNDS PER SQUARE INCH
CMU	CONCRETE MASONRY UNIT	PVC	PUBLIC UTILITY EASEMENT
CONC	CONCRETE	PC	POLYVINYL CHLORIDE
COT	CITY OF TUCSON	PAV	PAVEMENT
CT	CUBIC YARDS	R	RANGE, RADIUS, RECORD
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
DKT	DOCKET	RD	ROAD
DIL	DETAIL	RLS	REGISTERED LAND SURVEYOR
DR	DRIVE	R/W	RIGHT-OF-WAY
E	EAST	R/W&D	REGIONAL WASTEWATER RECLAMATION DEPARTMENT
E1	EXISTING GRADE	S	SLOPE, SOUTH SECTION
EL	ELEVATION	SE	SOUTHEAST
ELYV	ELEVATION EQUIVALENT	SEQ	SEQUENCE
EQUN	EXISTING	SF	SQUARE FEET
EX	EXISTING	SSPI	STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS
EXIST	EXISTING	STD	STANDARD
FC	FACE OF CURB	SVT	SIGHT VISIBILITY TRIANGLE
FFE	FINISHED FLOOR ELEVATION	SW	SIDEWALK, SOUTHWEST
FG	FINISHED GRADE	SWR	SEWER
FL	FLOW LINE	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
F1	FEET	T	TOWNSHIP
G	GUTTER	TC	TOP OF CURB
GA	GALLONS	TFP	TYPICAL
GAL	GALLONS	TM	TOP OF WALL
GFA	GROSS FLOOR AREA	UDC	UNFINED DEVELOPMENT CODE
HOPE	HIGH-DENSITY POLYETHYLENE INTERNATIONAL BUILDING CODE	UNO	UNLESS NOTED OTHERWISE
IBC	INTERNATIONAL BUILDING CODE	VCP	VERTICAL CLAY PIPE
ICC	INTERNATIONAL CODE COUNCIL	VERT	VERTICAL
INVT	INVERT	W	WEST, WIDTH
L	LENGTH	WEEK	WEEK
LBS	POUNDS	WSFL	WATER SURFACE ELEVATION
LF	LINEAR FEET	WTR	WATER
LP	LOOP	WWF	WELDED WIRE FABRIC
M	MEASURED	YR	YEAR
M&P	MAPS & PLATS		
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS		
MAX	MAXIMUM		

LEGEND

FEATURE	NEW	EXISTING
SURVEY MONUMENT	—	—
SURVEY MARKER	—	—
BOUNDARY LINE	—	—
EASEMENT LINE	—	—
MONUMENT LINE	—	—
CONTOUR LINE - MAJOR	- - - 50 - - -	- - - 50 - - -
CONTOUR LINE - MINOR	- - - 10 - - -	- - - 10 - - -
A.C. PAVEMENT	[Symbol]	[Symbol]
CONCRETE CURB	[Symbol]	[Symbol]
CONCRETE	[Symbol]	[Symbol]
BUILDING EXTERIOR WALL	[Symbol]	[Symbol]
WALL	[Symbol]	[Symbol]
OVERHEAD ELECTRIC LINE	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
TRANSFORMER	[Symbol]	[Symbol]
J2 BOX	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
SANITARY SEWER LINE	[Symbol]	[Symbol]
SANITARY SEWER CLEANOUT	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
WATER METER	[Symbol]	[Symbol]
WATER MANHOLE	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]
SLOPE ARROW	[Symbol]	[Symbol]
GRADE POINT	[Symbol]	[Symbol]
DRAINAGE FLOW LINE	[Symbol]	[Symbol]
RIPRAP	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]

Grener Engineering, Inc. logo and contact information.

1900 E. L1 Coronado Plaza Suite A120 Tucson, Arizona 85718
 Phone: 520.324.1212 Fax: 520.324.1213

PRELIMINARY NOT FOR CONSTRUCTION

NOTES & LEGEND

DATE: 9/7/2022

TANQUE VERDE TOWNHOMES
 12701 E. HANCOCK VILLAGE RD., TUCSON, AZ 85749

A PORTION OF SECTION 6, T-4S, R-6E, G-1A AND S-1T RIVER MESA, PIMA COUNTY, ARIZONA

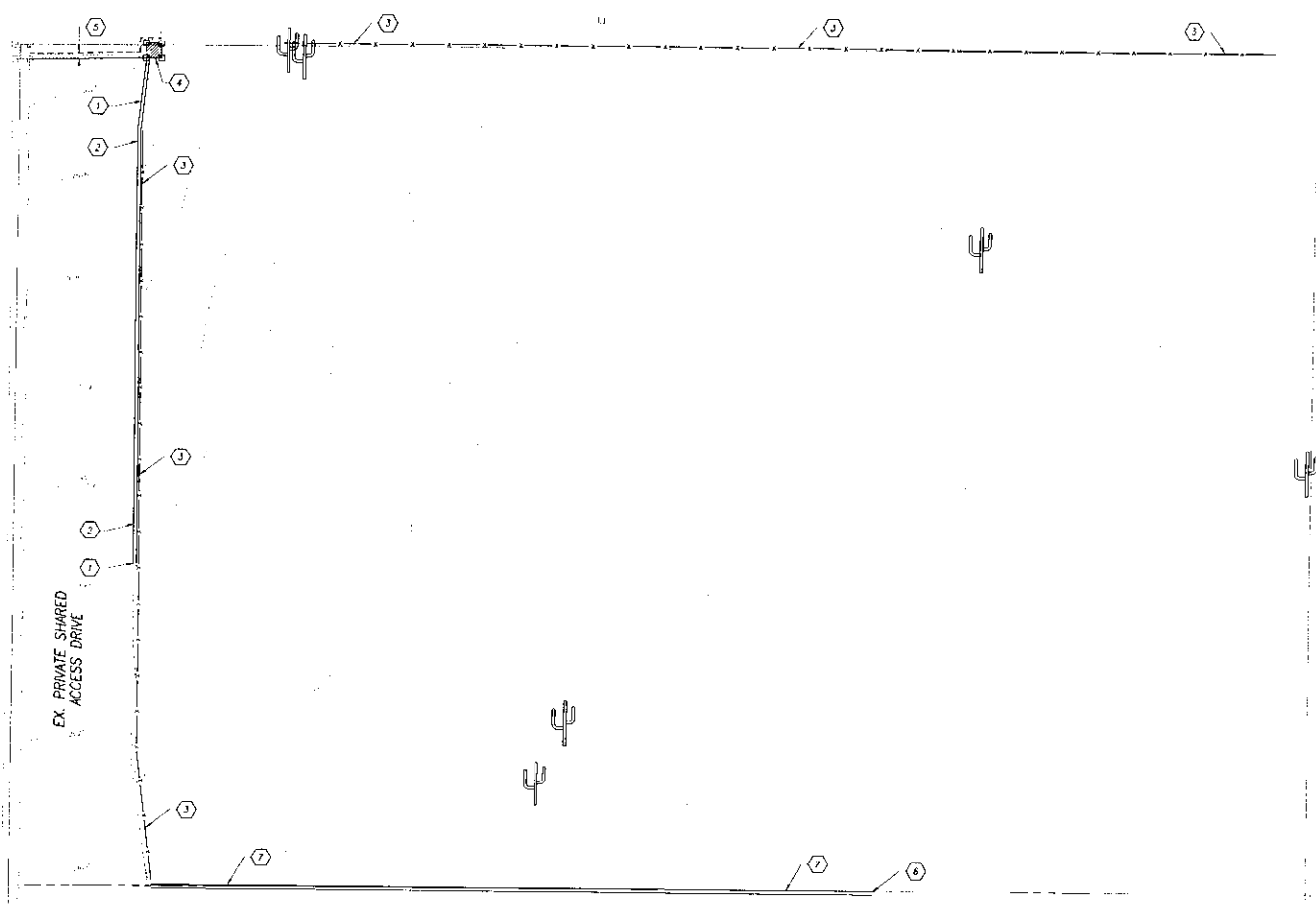
C1.1

Sheet 2 of 3

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, INCLUDING DEMOLITION PERMIT, REQUIRED BY GOVERNMENTAL AGENCIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATIONS AND REQUESTS BY PIMA COUNTY REGARDING DUST POLLUTION.
3. UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES OR AGENCIES. UTILITY LOCATIONS SHOWN ARE APPROXIMATE, AND THERE MAY BE EXISTING UTILITIES WHICH ARE NOT SHOWN ON THESE PLANS. THEREFORE, THE POSSIBILITY OF CONFLICTS WITH UTILITIES IN SERVICE EXISTS. THE CONTRACTOR SHALL CALL "BEFORE STAKE CENTER" AT 1-800-782-5348, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION, TO REQUEST VERIFICATION OF THE LOCATION AND ELEVATION OF ALL UTILITIES WITHIN THE WORK AREA. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COSTS INCURRED AS A RESULT OF DAMAGE TO UTILITIES CAUSED BY HIS OPERATIONS.
4. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO COMMENCING WORK TO DISCONNECT, SHUT OFF, OR STUB OUT ANY EXISTING UTILITIES AFFECTED BY THE DEMOLITION.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
6. THE CONTRACTOR AGREES TO PROTECT ALL ADJACENT PROPERTY AND EXISTING IMPROVEMENTS INCLUDING POSITIVE CONTROL OF EARTH SPILLAGE, CONSTRUCTION WATER, AND RUNOFF WATERS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED AND/OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, AND/OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
8. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
9. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION MATERIALS PER CITY AND/OR COUNTY REGULATIONS.
10. AN APPROVED COPY OF THIS PLAN SHALL BE KEPT ON LOCATION AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR THE CONTROL OF DUST FROM DEMOLITION ACTIVITIES. THE COST THEREOF IS TO BE INCLUDED IN THE CONTRACT PRICE.
12. THE EXISTENCE AND LOCATION OF ANY EXISTING UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE A REPRESENTATION OF THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEANS TO PROTECT ANY UTILITY NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION.
13. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY, INCLUDING DUST CONTROL AND ASBESTOS/MESHAP.
14. THE CONTRACTOR SHALL OBTAIN APPROVAL AND CLEARANCE FROM TUCSON FIRE DEPARTMENT PRIOR TO PROCEEDING WITH ANY DEMOLITION WORK.
15. REGARDING DEMOLITION OF EXISTING LANDSCAPE IMPROVEMENT, THE CONTRACTOR SHALL:
 - A. CUT AND CAP ALL LANDSCAPE IRRIGATION LINES SERVING PLANTS TO BE REMOVED.
 - B. ENSURE CONTINUED IRRIGATION SERVICE TO PLANT MATERIAL TO REMAIN.
 - C. PROTECT ALL PLANT MATERIAL TO REMAIN. DO NOT COMPACT SOIL OR PLACE CONSTRUCTION EQUIPMENT OR MATERIAL WITHIN THE AREA UNDER THE PLANT CANOPY.
 - D. SALVAGE AND OFFER ALL LANDSCAPE IRRIGATION EQUIPMENT TO THE OWNER.
 - E. ALL STUMPS OF REMOVED TREES MUST BE COMPLETELY REMOVED BELOW GRADE.
 - F. ALL EXISTING BACKFLOW PREVENTORS SHALL BE SALVAGED.
16. CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT FOR EXISTING WATER SERVICES TO BE ABANDONED.
17. CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR ARCHITECT FOR MATERIALS TO BE SALVAGED FOR REUSE OR STORAGE.
18. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED CITY AND/OR COUNTY REGULATIONS.
19. PRIOR TO DEMOLITION OCCURRING, EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY.
20. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

TANQUE VERDE ROAD
(PUBLIC STREET, M.S.&R.-SCENIC ROUTE)

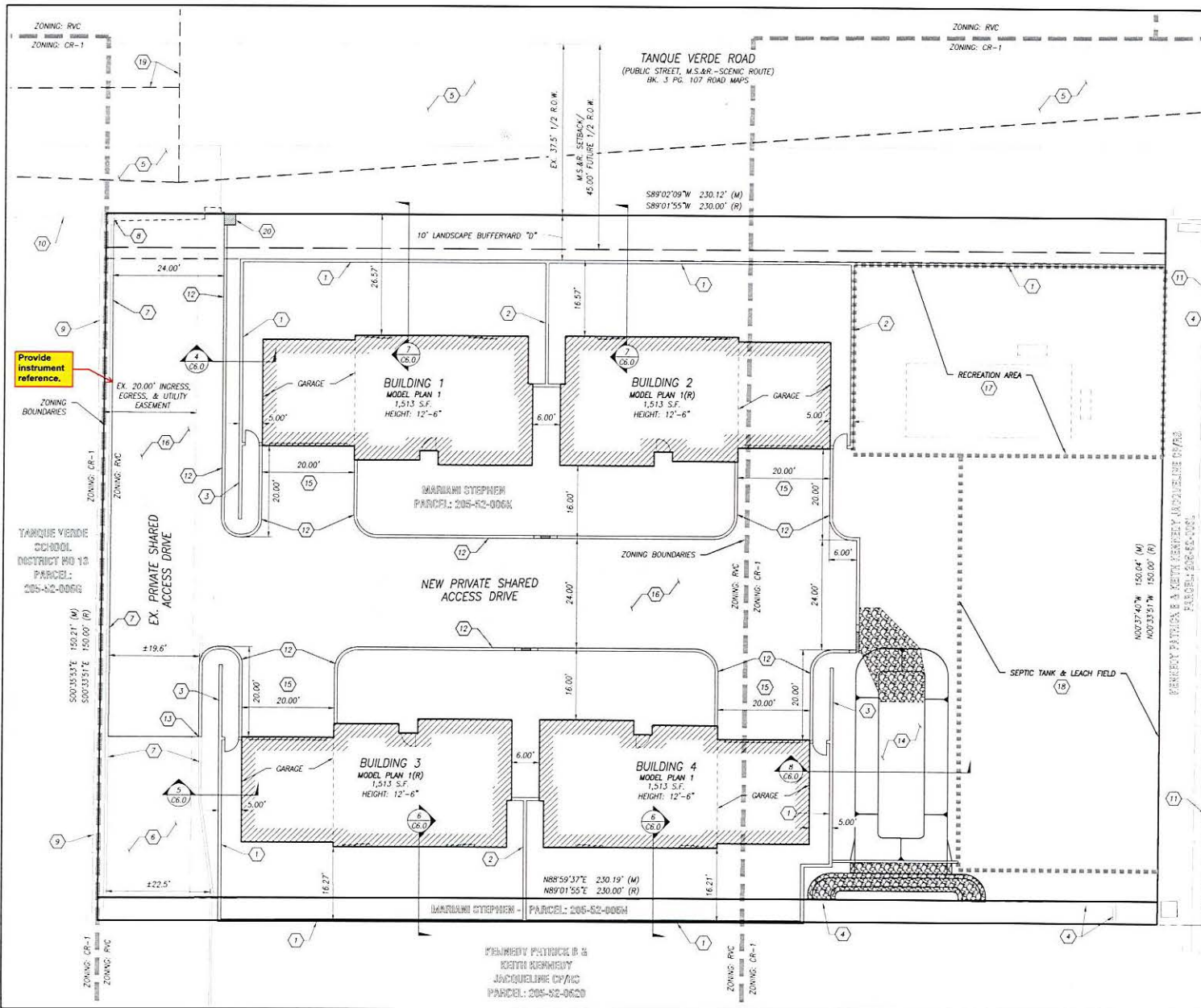


NORTH
SCALE: 1"=10'
CONTOUR INTERVAL: 1'

KEYNOTES

1. SAWCUT EXISTING CONCRETE VERTICAL CURB.
2. EXISTING CONCRETE VERTICAL CURB TO BE REMOVED.
3. EXISTING WIRE FENCE TO BE REMOVED.
4. EXISTING ENTRY COLUMN TO BE REMOVED.
5. EXISTING PAVEMENT TO BE SAWCUT AND REMOVED.
6. CUT EXISTING CMU WALL. SEE HORIZONTAL CONTROL PLAN FOR LIMITS OF NEW CONSTRUCTION.
7. REMOVE EXISTING CMU WALL.

<p>GRENIER ENGINEERING, Inc. Structural & Civil Engineering Consultants</p> <p>20016 2000 N. 113th Ave, Suite 100, Phoenix, AZ 85028 PH: 602.524.7187 - FAX: 602.524.7249</p>		<p>PRELIMINARY NOT FOR CONSTRUCTION</p>
<p>Project Name: DEMOLITION PLAN</p> <p>Date: 9/7/2022</p> <p>Scale: N/A</p> <p>Sheet: C2.0</p>		
<p>Client: TANQUE VERDE TOWNHOMES 15208 L. TANQUE VERDE RD., TUCSON, AZ 85749</p> <p>A PORTION OF SECTION 6, T14S, R16E, G4A AND/8ALT TWEED MERIDIAN, PIMA COUNTY, ARIZONA</p>		



KEYNOTES

- 1) NEW CMU RETAINING WALL & 6' HIGH SCREEN WALL PER SEPARATE DESIGN AND BUILDING PERMIT.
- 2) NEW 6' HIGH CMU SCREEN WALL PER SEPARATE DESIGN AND BUILDING PERMIT.
- 3) NEW CMU RETAINING WALL PER SEPARATE DESIGN AND BUILDING PERMIT.
- 4) EXISTING CMU SCREEN WALL.
- 5) EXISTING A.C. PAVEMENT TO REMAIN.
- 6) EXISTING SHARED ACCESS DIRT DRIVE TO REMAIN.
- 7) EXISTING CONCRETE VERTICAL CURB TO REMAIN.
- 8) EXISTING CMU COLUMN TO REMAIN.
- 9) EXISTING CHAINLINK FENCE WITH SLATS TO REMAIN.
- 10) EXISTING WROUGHT IRON FENCE TO REMAIN.
- 11) EXISTING WIRE FENCE TO REMAIN.
- 12) NEW 6" REVEAL CONCRETE VERTICAL CURB PER P.A.G. STANDARD DETAIL 209, TYPE 2.
- 13) JOIN NEW TO EXISTING CURB PER P.A.G. STANDARD DETAIL 211.
- 14) NEW FIRST FLUSH RETENTION BASIN, SEE GRADING PLAN.
- 15) TWO 9' X 20' VISITOR PARKING SPACES IN DRIVEWAY.
- 16) NEW A.C. PAVEMENT PER DETAIL 1 SHEET 06.0.
- 17) NEW RECREATION AREA, SEE LANDSCAPE PLANS.
- 18) NEW SEPTIC TANK & LEACH FIELDS PER SEPARATE DESIGN & PERMIT.
- 19) SIGHT VISIBILITY TRIANGLES - WEST: 21' X 5.35' EAST: 45' X 5.35'
- 20) NEW CMU COLUMN SET AT NEW PAVEMENT WIDTH.

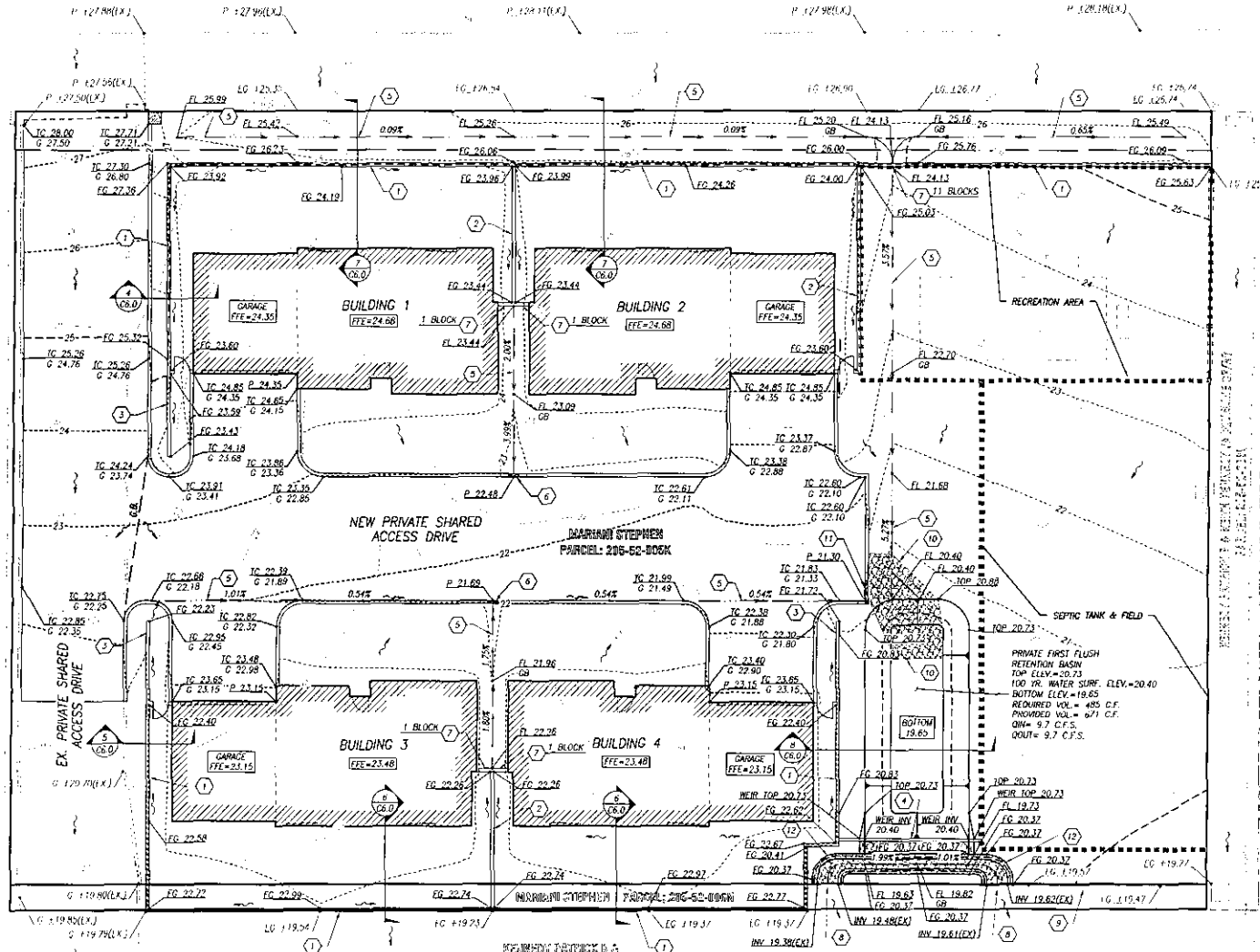
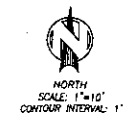
Provide instrument reference.

TIER FAMILY TR
PARCEL:
206-62-0610
DIRECT CONTACT LOT 1
16.74 P.S. 1

BRADFORD LIVING TR &
SIMBORG LIVING TR
PARCEL: 206-62-0620
DIRECT CONTACT LOT 2
16.74 P.S. 1

<p>GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants</p> <p>1500 E. El Dorado Plaza Suite A120, Tucson, Arizona 85715 Phone: 520-325-7100 • Fax: 520-325-7100</p>		<p>Job Number: 22016</p> <p>Designed By: AR</p> <p>Drawn By: AR</p> <p>Checked By: JM</p> <p>Date: 9/7/2022</p> <p>Scale: N/A (AS NOTED)</p>
<p>SITE PLAN</p> <p>SITE CONSTRUCTION PERMIT FOR</p> <p>TANQUE VERDE TOWNHOMES</p> <p>11200 E. TANQUE VERDE RD., TUCSON, AZ 85749</p> <p>A PORTION OF SECTION 6, T-14-S, R-16-E, G1-A AND SA1T HINK MCDONALD, PIMA COUNTY, ARIZONA</p>		<p>PRELIMINARY NOT FOR CONSTRUCTION</p> <p>C3.0</p> <p>Sheet 4 of 8</p>

TANQUE VERDE ROAD
(PUBLIC STREET, M.S. 68 - SCENIC ROUTE)



OWNER: VANDERLIP TR
PARCEL: 206-52-0019

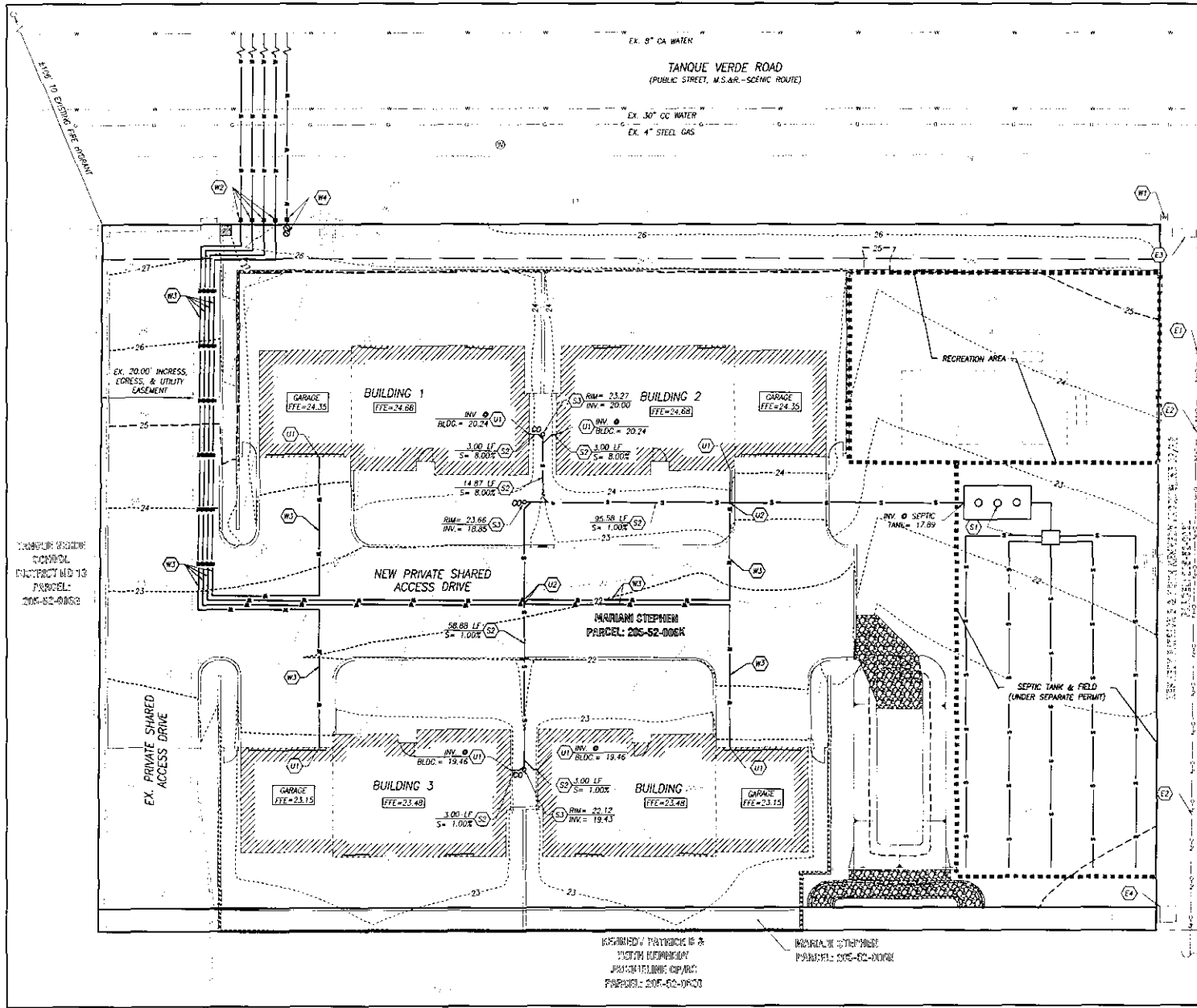
KEYNOTES

- 1) NEW CMU RETAINING WALL & SCREEN WALL, SEE SITE PLAN.
- 2) NEW CMU SCREEN WALL, SEE SITE PLAN.
- 3) NEW CMU RETAINING WALL, SEE SITE PLAN.
- 4) NEW CONCRETE WEIR PER DETAIL 12.
- 5) NEW DRAINAGE FLOWLINE.
- 6) NEW 2" WIDE CURB OPENING PER DETAIL 9 SHEET C5.0.
- 7) NEW WALL OPENINGS FOR DRAINAGE PER DETAIL 3 SHEET C5.0, SEE PLAN FOR NUMBER OF BLOCKS TO BE TURNED FOR DRAINAGE.
- 8) EXISTING WALL OPENING (3 BLOCKS) FOR DRAINAGE.
- 9) EXISTING CMU SCREEN WALL.
- 10) NEW HAND-PLACED RIPRAP PER DETAIL 2 SHEET C6.0.
- 11) NEW 4" WIDE CURB OPENING PER DETAIL 10 SHEET C6.0.
- 12) NEW GROUDED RIPRAP SHALE PER DETAIL 11. SEE DETAIL 13 FOR 1/2-IN TO EXISTING WALL OPENINGS.

SEPTIC TANK & FIELD
PRIVATE FIRST FLUSH
RETENTION BASIN
TOP ELEV.=20.73
100 YR. WATER SURF. ELEV.=20.40
BOTTOM ELEV.=19.65
REQUIRED VOL.=495 C.F.
PREFERRED VOL.=571 C.F.
OIN= 9.7 C.F.S.
OUT= 9.7 C.F.S.



<p>GREINER ENGINEERING, INC. Structural & Civil Engineering Consultants</p>		<p>PRELIMINARY NOT FOR CONSTRUCTION</p>
<p>Sheet Name: GRADING PLAN</p>	<p>Date: 9/7/2022</p>	<p>Project No.: 22016</p>
<p>Project: SHEET GRADING PLAN 1 OF 1</p>		
<p>TANQUE VERDE TOWNHOMES 13708 E. TANQUE VERDE ROAD, TUCSON, AZ 85749</p>		
<p>A PORTION OF SECTION 6, T.M.S. 16-18-C, CL.A. AND SA-1 RIVER MERIDIAN, PIMA COUNTY, ARIZONA</p>		
<p>C4.0</p>		<p>Sheet 5 of 8</p>



- UTILITY KEYNOTES**
- (U1) SEE BUILDING PLANS FOR CONTINUATION AND EXACT LOCATION OF CONNECTION TO BUILDING PLUMBING.
 - (U2) WATER/SEWER CROSSING, PROVIDE 2.0' MIN SEPARATION.

- ELECTRICAL KEYNOTES**
- (E1) EXISTING UTILITY POLE TO REMAIN.
 - (E2) EXISTING OVERHEAD UTILITY LINES TO REMAIN.
 - (E3) EXISTING J2 BOX TO REMAIN.
 - (E4) EXISTING TRANSFORMER TO REMAIN.
 - (E5) EXISTING GUY WIRE TO REMAIN.

- COMMUNICATION KEYNOTES**
- (C1) EXISTING COMMUNICATIONS BOX TO REMAIN.

- WATER KEYNOTES**
- (W1) EXISTING WATER METER (FOR APN 205-52-0620) TO REMAIN.
 - (W2) NEW DOMESTIC WATER SERVICE LINES AND WATER METERS BY TUCSON WATER, SIZES PER BUILDING PLANS.
 - (W3) NEW DOMESTIC PLUMBING WATER LINES TO BUILDING PER BUILDING PLANS.
 - (W4) NEW IRRIGATION METER AND BACKFLOW PREVENTION (SIZE PER LANDSCAPE PLANS). GENERAL CONTRACTOR RESPONSIBLE FOR INSTALLATION OF BACKFLOW PREVENTOR. TUCSON WATER WILL PROVIDE BACKFLOW PERMIT.

- SEWER KEYNOTES**
- (S1) NEW SEPTIC TANK & LEACH FIELDS PER BY SEPARATE DESIGN & PERMIT.
 - (S2) NEW 4" PVC (SDR-35) SANITARY SEWER LINE.
 - (S3) NEW SANITARY SEWER CLEANOUT PER RWHD STANDARD DETAIL 404, TYPE III.

WORK HANDLED BY PARCEL: 205-52-0610

UNRECORDED LOTTING TO BE DEVELOPED BY PARCEL: 205-52-0620

EXISTING RECORD SURVEY PROPERTY NO. 13 PARCEL: 205-52-0058

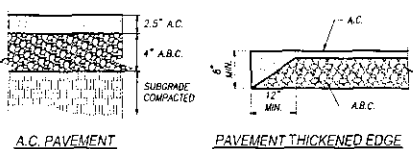
EXISTING RECORD SURVEY PROPERTY NO. 14 PARCEL: 205-52-0620

EXISTING RECORD SURVEY PROPERTY NO. 15 PARCEL: 205-52-0620

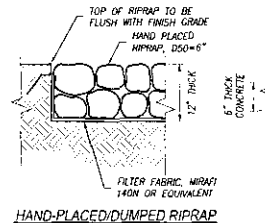
<p>GRENER ENGINEERING, INC. Structural & Civil Engineering Consultants</p> <p>3000 E. Florence Plaza Suite A120, Tucson, Arizona 85710 Phone: 520.729.2242 - 1 Fax: 520.729.7500</p>		Project No.: 22016 Designer: AR Checker: AR Date: 9/27/2022 Scale: N/A (AS NOTED)
		<p>PRIVATE UTILITY PLAN</p> <p>SITE CONSTRUCTION PERMIT ITEM</p> <p>TANQUE VERDE TOWNHOMES 11208 L. TANQUE VERDE RD., TUCSON, AZ 85749</p> <p>A PORTION OF SECTION 6, T-14-S, R-16-E, Q1A AND S&T RIVER VERDE/AN, PIMA COUNTY, ARIZONA</p> <p style="text-align: right; font-size: 24pt;">C5.0</p>



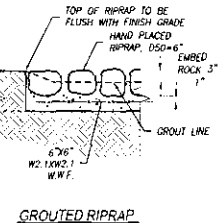
NOTES
 1. ALL COURSES ARE TO CONFORM TO RECOMMENDATIONS IN SOIL'S REPORT.



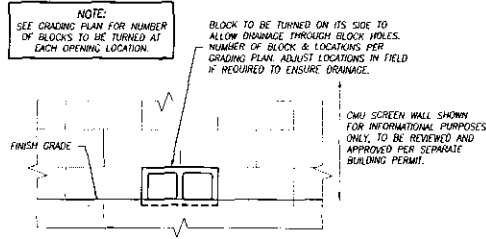
A.C. PAVEMENT **PAVEMENT THICKENED EDGE**



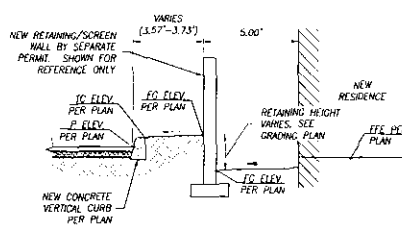
HAND-PLACED/DUMPED RIPRAP



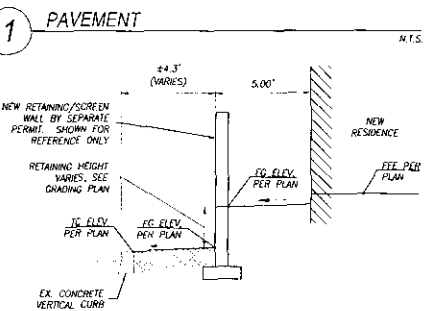
GROUTED RIPRAP



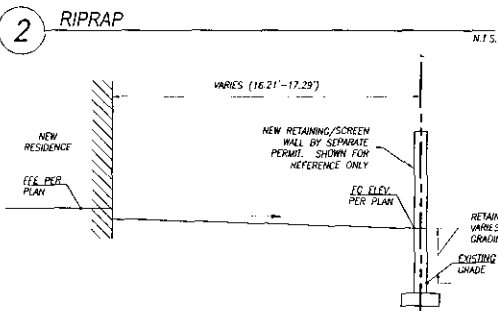
3 TYPICAL WALL OPENING FOR DRAINAGE



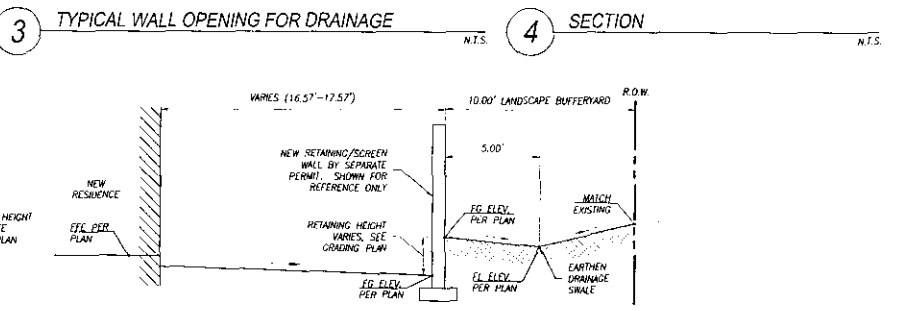
4 SECTION



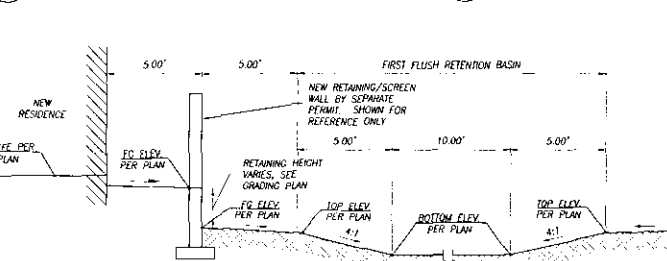
5 SECTION



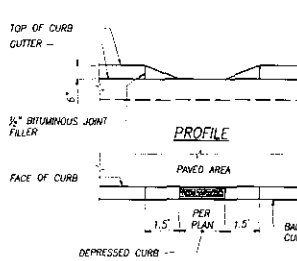
6 SECTION



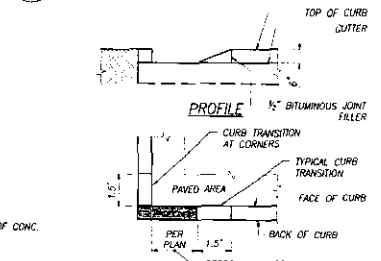
7 SECTION



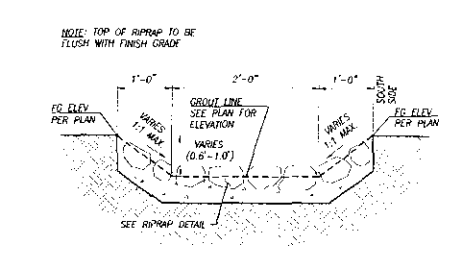
8 SECTION



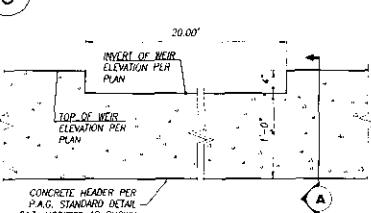
9 CURB OPENING



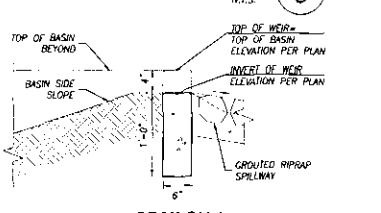
10 CURB OPENING AT CORNER



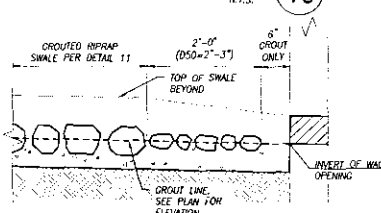
11 GROUTED RIPRAP SWALE



12 CONCRETE WEIR



SECTION A



13 RIPRAP SWALE AT WALL OPENINGS

<p>GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants</p>		<p>PRELIMINARY NOT FOR CONSTRUCTION</p> <p>DATE: 9/17/2012</p> <p>SCALE: 1/4" = 1'-0" (SEE NOTES)</p> <p>Sheet: C6.0</p>
<p>PROJECT: TANQUE VERDE TOWNHOMES</p> <p>LOCATION: 15108 E. TANDLER VALLEY RD., TUCSON, AZ 85749</p> <p>DATE: 11/14/10</p> <p>DESIGNED BY: [Name]</p> <p>CHECKED BY: [Name]</p> <p>DATE: 9/17/2012</p>		

BRASS CAP SURVEY MONUMENT NW COR SEC. 6

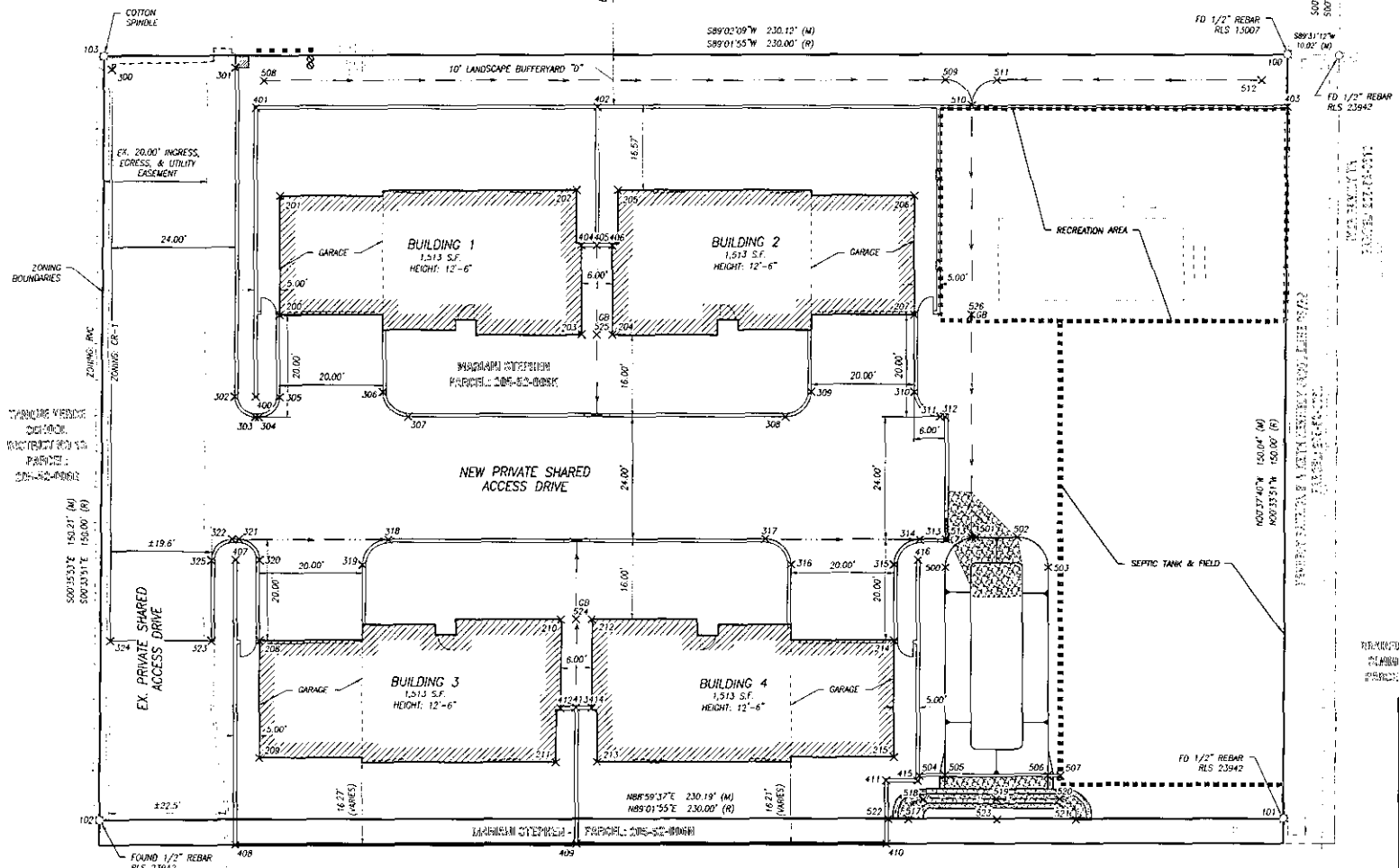
TANQUE VERDE ROAD
(PUBLIC STREET, M.S. 6R - SCENIC ROUTE)

N89°01'55"E 2794.20' (M) 2794.50' (R)
N89°01'55"E 1253.43' (M) 1253.41' (R)

RAILROAD SPIKE N 1/4 COR SEC. 6

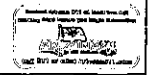


POINT LEGEND	
POINTS 100-199	PROPERTY LINE
POINTS 200-299	FACE OF BUILDING
POINTS 300-399	EDGE OF PAVEMENT
POINTS 400-499	CENTER OF WALL
POINTS 500-599	DRAINAGE FEATURE



POINT #	POINT MARK	COORDS	POINT #	POINT MARK	COORDS
100	45854.47	1000109.84	329	45856.78	1000962.83
101	45854.75	1000119.49	330	45857.33	1000962.22
102	45860.25	1000191.33	400	45858.73	1000959.34
103	45860.95	1000199.76	401	45861.12	1000960.28
200	45860.80	1000599.75	402	45864.23	1000955.50
201	45862.99	1000599.54	403	45864.49	1000959.94
202	45862.63	1000601.88	404	45861.50	1000953.14
203	45869.79	1000603.40	405	45865.25	1000956.16
204	45869.89	1000605.43	406	45861.50	1000956.16
205	45869.87	1000605.98	407	45865.86	1000958.87
206	45869.84	1000611.85	408	45870.57	1000967.82
207	45869.89	1000618.04	409	45870.50	1000964.14
208	45868.74	1000961.80	410	45870.64	1000974.35
209	45861.50	1000962.19	411	45868.96	1000974.15
210	45861.73	1000965.39	412	45862.37	1000965.69
211	45861.55	1000969.87	413	45862.37	1000965.69
212	45861.83	1000976.39	414	45862.24	1000968.69
213	45861.68	1000983.87	415	45861.87	1000970.25
214	45862.82	1000981.12	416	45865.89	1000975.82
215	45861.63	1000981.51	300	45863.34	1000974.80
300	45868.02	1000981.37	301	45869.48	1000980.77
301	45869.80	1000985.36	302	45865.62	1000983.77
302	45869.87	1000988.77	303	45863.72	1000984.87
303	45869.72	1000990.33	304	45861.20	1000985.97
304	45869.74	1000991.06	305	45862.14	1000985.97
305	45869.60	1000994.39	306	45862.47	1000985.97
306	45869.14	1000997.00	307	45862.51	1000985.97
307	45869.23	1000999.08	308	45862.48	1000985.97
308	45862.46	1000983.38	309	45862.81	1000985.97
309	45867.54	1000988.30	310	45864.79	1000985.97
310	45867.88	1000988.29	311	45864.87	1000985.97
311	45862.96	1000982.38	312	45864.74	1000984.90
312	45862.80	1000984.36	313	45862.60	1000985.90
313	45862.08	1000984.78	314	45862.40	1000984.99
314	45862.90	1000986.78	315	45862.42	1000984.92
315	45863.62	1000984.67	316	45862.88	1000983.85
316	45863.48	1000989.87	317	45863.57	1000984.65
317	45863.59	1000989.79	318	45863.58	1000984.60
318	45863.16	1000986.46	319	45863.35	1000984.60
319	45862.04	1000981.55	320	45863.62	1000983.70
320	45862.74	1000989.53	321	45864.78	1000983.89
321	45863.67	1000987.47	322	45869.78	1000986.45
322	45866.45	1000988.15	323	45863.06	1000983.16
323	45866.29	1000982.48			

REVISIONS LISTING FOR 2
DRAWING NUMBER: 2015-02-10001



PRELIMINARY NOT FOR CONSTRUCTION

GREINER ENGINEERING, INC.
Structural & Civil Engineering Consultants

11708 N. TANGUE VERDE ROAD SUITE 11708 TUCSON, ARIZONA 85745
PH: 520.543.1529 FAX: 520.543.1528

Project No.	22018
Drawn by	AB
Check by	AB
Date	9/7/2015
Scale	N/A
Sheet No.	1 of 1

HORIZONTAL CONTROL PLAN

SITE CONSTRUCTION INFORMATION

TANQUE VERDE TOWNHOMES
11708 N. TANGUE VERDE ROAD TUCSON, AZ 85745

A PORTION OF SECTION 6, T-14-S, R-16-E, G&A AND S&T
RIVER WATERSHED, PIMA COUNTY, ARIZONA

C7.0

Sheet No. 7 of 8

PREPARED BY: J. R. GRIFFIN
CHECKED BY: J. R. GRIFFIN
DATE: 09-07-2015



LETTER OF AUTHORIZATION

As required by Arizona Revised Statutes I hereby certify that I am the owner of the property referenced below and that the party whose name is listed below is authorized to take out Development Services permits in my name:

11208 E. Tanque Verde Rd

Property Address

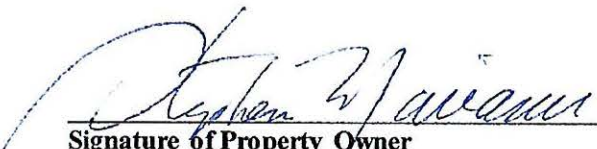
SFR Conditional Use

Type of Permit Applied for: (SFR/MH/Remodel/Addition/Fence or Wall/Home Occupation/Child Care/Adult Care/Secondary Dwelling/Assisted Living/Group Home)

Signature of Applicant

Date

AUTHORIZED BY:


Signature of Property Owner

1-3-23
Date

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

_____ APPROVE the proposed rezoning
Dennis & Pamela Winsten XXX **PROTEST** the proposed rezoning
Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¼ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 4940 N. Shulemkeh Pl., Tucson, AZ 85749

Mailing Address: Same as above

Dennis Winsten Pamela Winsten

Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

Nancy Haase

APPROVE the proposed rezoning

David Haase

XXX **PROTEST** the proposed rezoning

Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 11361 East Calle Vaqueros, Tucson, AZ 85749

Mailing Address: Same as above

Nancy Haase

David Haase

Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

John R. Lockwood

APPROVE the proposed rezoning
XXX **PROTEST** the proposed rezoning

Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 9859 E. Forest Grove Loop, Tucson, AZ 85749

Mailing Address: Same as above



Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

Margaret M. Lockwood

APPROVE the proposed rezoning
XXX **PROTEST** the proposed rezoning

Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 9859 E. Forest Grove Loop, Tucson, AZ 85749

Mailing Address: Same as above

Margaret M. Lockwood _____

Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

Jacqueline Comeru APPROVE the proposed rezoning
Property Owner(s) name (typed or printed) XXX PROTEST the proposed rezoning

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¼ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 3292 N. Drake Pl., Tucson, AZ 85749

Mailing Address: Same as above

Jacqueline R. Comeru
Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

APPROVE the proposed rezoning
Charlie Manherz XXX **PROTEST** the proposed rezoning

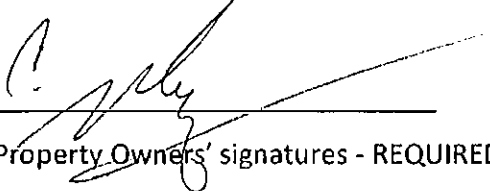
Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 11300E Comanchero Circle, Tucson, AZ 85749

Mailing Address: Same as above



Property Owners' signatures - REQUIRED (electronic or hand-written)

If you are unable to attend but would like to express your opinion, please EMAIL your comments using the sample Protest Form below. The email must be received no later than 5:00pm Tuesday, Feb 7th

Pima County Approval – Protest Form

If you wish to submit a written protest or approval, this form is provided for your convenience. Print your comments below, sign your name, and email to the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 2.1.2023

_____ APPROVE the proposed rezoning
Eileen Erickson _____ PROTEST the proposed rezoning

Property Owner(s) names

Reason(s): Until traffic flow issues are resolved at the intersection of Tanque Verde Loop And Tanque Verde Rd and the Emily Gray School, the county should not consider any additional development. Any development will add to congestion and safety, will not have room for entering or existing properties in the area and will degrade existing neighborhood life. Please look at the larger impact of any such developments.

Property Address: 3392 N Soldier Trail Tucson AZ 85749

Mailing Address: 3392 N Soldier Trail Tucson AZ 85749

Eileen Erickson _____

Property Owner(s) signatures - REQUIRED (electronic or hand-written)

From: [DSD Planning](#)
To: [Anita McNamara](#)
Subject: FW: Case # P23CU00001
Date: Thursday, February 2, 2023 6:55:45 AM

From: B H <bhoward1980@gmail.com>
Sent: Wednesday, February 1, 2023 11:37 PM
To: DSD Planning <DSDPlanning@pima.gov>
Subject: Case # P23CU00001

CAUTION: This message and sender come from outside Pima County. If you did not expect this message, proceed with caution. Verify the sender's identity before performing any action, such as clicking on a link or opening an attachment.

Please record my PROTEST of this variance request as noted below. Thank you.

Date: 2/1/2023 _____ APPROVE the proposed rezoning
_____ PROTEST the proposed rezoning Property
Owner(s) names

Brandon Michel Howard

Reason(s): Proposed variance does not fit with the current neighborhood makeup, would contribute to already horrendous traffic issues associated with the commerce and school at the site. Neighbors are all single family homes; this variance would increase traffic and not match the neighborhood makeup. Street access from Tanque Verde would create a danger to school children who are accessing the school, as well as create a traffic hazard due to no proposed control signal or median to control traffic at the location. Right turns to make a U-TURN are not advisable due to the narrow two-lane road at this location.

Property Address: 4419 N Camino Cardenal Tucson, AZ 85718

Mailing Address:

4419 N Camino Cardenal Tucson, AZ 85718

Brandon Howard _____ Property Owner(s) signatures -
REQUIRED (electronic or hand-written)

From: [DSD Planning](#)
To: [Anita McNamara](#)
Subject: FW: Case # P23CU00001 : Tanque Verde Townhomes
Date: Friday, February 3, 2023 3:01:10 PM

From: Sue Clark <seclark430@gmail.com>
Sent: Friday, February 3, 2023 2:59 PM
To: DSD Planning <DSDPlanning@pima.gov>
Subject: Case # P23CU00001 : Tanque Verde Townhomes

CAUTION: This message and sender come from outside Pima County. If you did not expect this message, proceed with caution. Verify the sender's identity before performing any action, such as clicking on a link or opening an attachment.

Dear Pima County Planning & Zoning Department,
I have been a resident of Pima County/Tanque Verde neighborhood for over 10 years. I respectfully request that you take my attached signed petition into consideration regarding the request to rezone the above subject Case. I am NOT in favor of the rezoning request.
Thank you,
Susan Clark

Sent from my iPad

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: PSDPPlanning@pima.gov

Case # P23CG00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ, 85749
Section 6, T-14-S, R-16-E, GRSRM, Pima County, AZ. P22SC00054
Rezoning CR-L/RCV to Conditional Use Permit

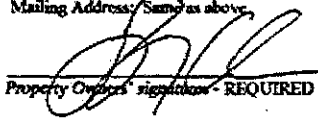
Date: 02 February 2023

~~XXXXXXXXXXXX~~ APPROVE the proposed rezoning
Property Owner(s) name (typed or printed) PROTEST the proposed rezoning

Reason(s):
The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¼ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 3088 N. Maboa Mesa, Tucson, AZ 85749

Mailing Address: Same as above

 Susan Clark
Property Owner's signature - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

APPROVE the proposed rezoning

Dennis and Kathryn Kirsh XXX PROTEST the proposed rezoning

Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¼ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 9877 E Forest Grove Loop, Tucson, AZ 85749

Mailing Address: Same as above

Dennis Kirsh Kathryn Kirsh

Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023


Gary and Christina Annibal APPROVE the proposed rezoning
xxx **PROTEST** the proposed rezoning
Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¼ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 11311 E Comanchero Cir, Tucson, AZ 85749

Mailing Address: Same as above



Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

MONICA KOPF APPROVE the proposed rezoning
XXX **PROTEST** the proposed rezoning
Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 10621 E SUNA WICK, Tucson, AZ 85749

Mailing Address: Same as above

[Signature]

Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval - Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

Connie Gibbons

APPROVE the proposed rezoning

PROTEST the proposed rezoning

Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 10331 E. Kaibito Place, Tucson, AZ 85749

Mailing Address: Same as above

Connie Gibbons _____

Property Owner's signature - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

Janet Adessa

Tony Adessa

~~APPROVE the proposed rezoning~~

XXX **PROTEST** the proposed rezoning

Property Owner(s) name (typed or printed)

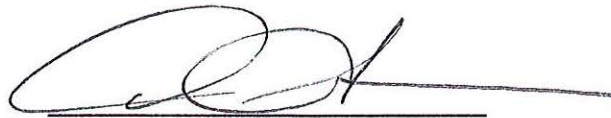
Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 4055 N. Caliente Canyon Pl., Tucson, AZ 85749

Mailing Address: Same as above

Janet Adessa



Property Owners' signatures - REQUIRED (electronic or hand-written)

County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02/02/2023

GKH LIVING TR ___ APPROVE the proposed rezoning
GEORGE/JUDI HOLGUIN X PROTEST the proposed rezoning
Property Owner(s) names

Reason(s): TO INTENSE DENSITY FOR THE AREA.

Property Address: 11208 E TANQUW VERDE RD (PROPOSED PROJECT)

Mailing Address: 11100 E SUNDANCE DR

George E Holquin _____
Property Owner(s) signatures - REQUIRED (electronic or hand-written)

February 4, 2023

On February 8, Pima County Planning and Zoning will be asked to rezone a single family lot and allow the construction of townhouses. (Case #P23CU00001)

We are opposed and ask Pima County to deny the application. The reasons are: 1. we and many others purchased single family homes & ranches in the area because we wanted peace and quiet. We do not want to live in a dense area and paid handsomely for that privilege when we moved here. 2. The site is near a Middle School and the area is routinely busy with kids and traffic during the school year. Adding density will add to this already heavily impacted and potentially dangerous driving area; 3. We live and love our rural environment and are opposed to the environmental impacts of increased density. 4. Any zoning variations approved will open the door to more- the area will be destroyed. Please keep our beautiful area single family homes and ranches. It is our sanctuary. Mr. Mariani purchased a single-family lot and that is what it should remain.

Brad & Sheila Jacobs
13530 E. Redington
Tucson, AZ 85749

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

Karen Greene ~~APPROVE~~ the proposed rezoning
8700 E Eagle Feather Rd XXX **PROTEST** the proposed rezoning
Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¼ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 8700 E Eagle Feather, Tucson, AZ 85749

Mailing Address: Same as above

Karen Greene
Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

JoAnn F. Trego
Property Owner name

APPROVE the proposed rezoning
XXX **PROTEST** the proposed rezoning

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 10410 E. Rancho del Este Drive, Tucson, AZ 85749

Mailing Address: Same as above



Property Owner signature - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

Eric + Theresa Hadley APPROVE the proposed rezoning
XXX **PROTEST** the proposed rezoning
Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: 10780 E. Tanque Verde Road, Tucson, AZ 85749

Mailing Address: Same as above

Theresa Hadley
Property Owners' signatures - REQUIRED (electronic or hand-written)

Pima County Approval – Protest Form

To the Pima County Planning and Zoning department at: DSDPlanning@pima.gov

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

_____ APPROVE the proposed rezoning
_____ XXX **PROTEST** the proposed rezoning
Property Owner(s) name (typed or printed) Robert and Adele Youmans

Reason(s):
The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: ___2841 N. N. Melpomene Dr_____, Tucson, AZ 85749

Mailing Address: Same as above

___Robert L Youmans_____ Adele
Youmans_____

Property Owners' signatures - REQUIRED (electronic or hand-written)

P23CU00001

Public Comment

March 14, 2023

Anita McNamara

From: DSD Planning
Sent: Friday, February 10, 2023 7:53 AM
To: Anita McNamara
Subject: FW: Case #P23CU00001

Another one in junk mail.....

-----Original Message-----

From: Carracingtrigirl <turnleftgofast1@gmail.com>
Sent: Sunday, February 5, 2023 8:30 AM
To: DSD Planning <DSDPlanning@pima.gov>
Subject: Case #P23CU00001

CAUTION: This message and sender come from outside Pima County. If you did not expect this message, proceed with caution. Verify the sender's identity before performing any action, such as clicking on a link or opening an attachment.

Case # P23CU00001: Tanque Verde Townhomes
11208 E. Tanque Verde Road, Tucson, AZ 85749
Section 6, T-14-S, R-16-E, G&SRM, Pima County, AZ P22SC00054
Rezoning CR-1/RCV to Conditional Use Permit

Date: 02 February 2023

_____Karen Chaney_____ APPROVE the proposed rezoning

XXX PROTEST the proposed rezoning

Property Owner(s) name (typed or printed)

Reason(s):

The property owner is/was well aware of the zoning for the parcel when it was purchased. The proposal for 4 townhouses and a recreation center on ¾ acre is totally inconsistent with the existing, neighboring single-family residences on 1+ acres and should be rejected. I urge you to reconsider this development. Tanque Verde is a community built for a way of life that doesn't coincide with the type of development that is being proposed. If we continue to overbuild in these areas, then we are dooming ourselves and future generations.

Property Address: _____10000 E Moccasin Place _____, Tucson, AZ 85749

Mailing Address: Same as above

_____Karen Chaney_____

Property Owners' signatures - REQUIRED (electronic or hand-written)

Anita McNamara

From: DSD Planning
Sent: Friday, February 10, 2023 7:52 AM
To: Anita McNamara
Subject: FW: Case #P23CU00001 Protest Letter

Just found this in junk mail.....sorry!

-----Original Message-----

From: philip granillo <philipgranillo@yahoo.com>
Sent: Monday, February 6, 2023 11:12 AM
To: DSD Planning <DSDPlanning@pima.gov>
Cc: Trego <j05j26@hotmail.com>; lanbkidd@yahoo.com; Cc: Eileen Erickson <ejeeileen@gmail.com>; Camille Robinson <bronxy33@gmail.com>; Tina Trevor <ttrevor21@cox.net>; Vaughn LaTour <vlat1953@gmail.com>; David Jennings-Syrell <catalinapointhoa@outlook.com>; Tom Adang <presidentcastlerockhoa@gmail.com>; Melissa Griebel <magriebel@msn.com>; Peggy Carson <carsonpr1@aol.com>; philip granillo <philipgranillo@yahoo.com>
Subject: Case #P23CU00001 Protest Letter

CAUTION: This message and sender come from outside Pima County. If you did not expect this message, proceed with caution. Verify the sender's identity before performing any action, such as clicking on a link or opening an attachment.

Dear DSD Planning,

Per your letter, I must submit my opinion on case P23CU00001 by 2/7/23 by 5pm.

Please find my attached letter that I DO NOT APPROVE of this request.

I would like to speak up to request a 'Continuance' so those in our neighborhood who work and travel have more time to discuss this situation.

Please feel free to call with any questions, and I will attend the meeting virtually on 2/8 at 9 am.

Thank you,

Philip A. Granillo
520-237-6882
11312 E. Comanchero Cir
Tucson, AZ 85749