



BOARD OF SUPERVISORS AGENDA ITEM REPORT

Requested Board Meeting Date: August 15, 2016

PIMA COUNTY PLANNING DEPARTMENT

Title: Co9-89-21 LAWYERS TITLE AND TRUST, TR #6486-T - INTERSTATE 19 #2 REZONING [MODIFICATION (SUBSTANTIAL CHANGE) OF REZONING CONDITIONS]

Introduction/Background:

The applicant requests modification (substantial change) of rezoning condition #'s 10 and 16 which restrict uses to a golf course club house, pro shop, restaurant, and six residential lots as approved by the architectural review committee of the Green Valley Coordinating Council, to allow the additional use of a communication tower to be located in the San Ignacio Golf Course club house parking lot.

Discussion:

The 7.0-acre rezoning from RH to CB-2 for the golf course club house and associated uses was approved in 1989. CB-2 zoning was necessary for the liquor license for the restaurant. CB-2 is an intensive business zone; and the site was (and is) surrounded by residential zoning and uses. Therefore, the uses on the site were restricted by rezoning condition #'s 10 and 16. The applicant proposes a 54-foot monopalm communication tower and equipment area to occupy four parking spaces and an end row landscape median. The applicant indicates that the site elevation and location are ideal for increased coverage and data capacity for area residents and first responders and allow for a relatively short tower. The applicant also indicates that the proposed site is the best of three alternatives within the golf course property. The site is the only commercial zoning in the vicinity. Communication towers are a permitted use in CB-2. The zoning code encourages location of towers in commercial zones.

Conclusion:

The applicant has demonstrated modeled improvement in coverage for the Verizon carrier; and staff recognizes the growing need for data capacity to serve area residents and first responders. The applicant also indicates an ideal line of sight elevation of the proposed site allowing for a tower of less height than alternative sites considered. Staff also recognizes the lack of commercially-zoned property in the vicinity where location of towers is encouraged.

Recommendation:

Staff recommends approval of a modification (substantial change) of condition #'s 10 and 16 with additional condition #17 which regulates the tower's form and height as a monopalm and location and screening within the parking lot. The Planning and Zoning Commission recommends approval with conditions as recommended by staff. The Green Valley Coordinating Council recommends approval.

Fiscal Impact:

0

Board of Supervisor District:

- 1 2 3 4 5 All

Department: Pima County Development Services - Planning Telephone: 520-724-9000

Department Director Signature/Date: [Signature] 7/25/16

Deputy County Administrator Signature/Date: [Signature] 7/27/16

County Administrator Signature/Date: [Signature] 7/28/16



PIMA COUNTY
DEVELOPMENT SERVICES

TO: Honorable Ray Carroll, Supervisor, District 4

FROM: Chris Poirier, Planning Official
Public Works-Development Services Department-Planning Division

DATE: July 25, 2016

SUBJECT: Co9-89-21 **LAWYERS TITLE AND TRUST, TR #6486-T – INTERSTATE 19 #2 REZONING**

The above referenced Modification (Substantial Change) of Rezoning Conditions is within your district and is scheduled for the Board of Supervisors' **MONDAY, AUGUST 15, 2016** hearing.

REQUEST: For a modification (substantial change) of rezoning conditions #10, which requires adherence to the revised rezoning preliminary development plan approved on April 15, 1997, and #16, which limits uses to a golf course club house, pro shop, restaurant, and six residential lots as approved by the architectural review committee of the Green Valley Coordinating Council, to allow the additional use of a communication tower. The subject site is the non-residential portion of the rezoning that is approximately 4.96 acres zoned CB-2 (General Business) and is located at the southeast corner of the intersection of S. Camino del Sol and S. Desert Jewell Loop.

OWNER: Borderland Investments I, LLC
Attn: Morgan North
400 E. 38th Street
Tucson, AZ 85713-4871

APPLICANT: SBA Communications Corp.
Attn: Marques Jackson
8051 Congress Avenue
Boca Raton, FL 33487-1307

AGENT: Wavelength Management
Attn: Rob Jones
2200 E. Williams Field Road, Suite 200
Gilbert, AZ 85295

DISTRICT: 4

STAFF CONTACT: David Petersen

PUBLIC COMMENT TO DATE: As of July 25, 2016, staff has received nine letters in opposition. The letters indicate concerns with interrupted view, aesthetics, decreased property values, construction access from Desert Jewell Drive, more suitable alternative sites, short notice of the proposal, summer absentee residents, and health effects of radio frequency emissions. Requests for continuance of the hearing were also made.

PLANNING & ZONING COMMISSION RECOMMENDATION: **APPROVAL SUBJECT TO CONDITIONS** (7 – 1, Commissioner Gavin voted NAY, Commissioners Membrila and Cook were absent).

STAFF RECOMMENDATION: **APPROVAL SUBJECT TO CONDITIONS.**

MAEVEEN MARIE BEHAN CONSERVATION LANDS SYSTEM DESIGNATIONS: The subject property is located outside of the Maeveen Marie Behan Conservation Lands System.

TD/DP/ar
Attachments




BOARD OF SUPERVISORS MEMORANDUM

Subject: Co9-89-21

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FOR MONDAY, AUGUST 15, 2016 MEETING OF THE BOARD OF SUPERVISORS

TO: HONORABLE BOARD OF SUPERVISORS

FROM: Chris Poirier, Planning Official 
Public Works-Development Services Department-Planning Division

DATE: July 25, 2016

ADVERTISED ITEM FOR PUBLIC HEARING

MODIFICATION (SUBSTANTIAL CHANGE) OF REZONING CONDITIONS

Co9-89-21 LAWYERS TITLE AND TRUST, TR #6486-T – INTERSTATE 19 #2 REZONING

Request of Borderlands Investments I, LLC, represented by Wavelength Management, for a **modification (substantial change) of zoning conditions #10**, which requires adherence to the revised rezoning preliminary development plan approved on April 15, 1997, and #16, which limits uses to a golf course club house, pro shop, restaurant, and six residential lots as approved by the architectural review committee of the Green Valley Coordinating Council, to allow the additional use of a communication tower. The subject site is the non-residential portion of the rezoning that is approximately 4.96 acres zoned CB-2 (General Business) and is located at the southeast corner of the intersection of S. Camino del Sol and S. Desert Jewell Loop. On motion, the Planning and Zoning Commission voted 7-1 to recommend **APPROVAL SUBJECT TO CONDITIONS** (Commissioner Gavin voted NAY, Commissioners Membrilla and Cook were absent). Staff recommends **APPROVAL SUBJECT TO CONDITIONS**. (District 4)

PLANNING AND ZONING COMMISSION HEARING SUMMARY (July 13, 2016)

Staff summarized the staff report for the requested modification of rezoning conditions #10 and #16 to allow the additional use of a communication tower with a recommendation of approval. Staff recommended that the word "exceed" should replace the word "increase" in line four of recommended new condition #17. Staff noted that current and proposed service coverage maps had been submitted by the applicant's agent, and that five letters of opposition to the request had been received that were distributed to the commissioners. Staff also noted that the Supervisor for District 4 may request that the proposed tower be disguised as a water tower or a windmill rather than a palm tree as proposed. Staff stated that a 75-foot-high tower had recently been approved at the location of the Green Valley Recreation Center.

The applicant's representative spoke. He indicated that he had been working on the project for a long time, but had been unaware of the restrictive rezoning condition. He said that the purpose of the tower location was to improve a significant gap in service related to both coverage and data capacity need with increased wireless service use and a growing Verizon customer base. Residents, visitors, business owners, and critical first responders would benefit as data is now used in contact with dispatchers and hospitals.

The applicant provided a PowerPoint presentation. A map was shown which depicted the closest existing sites (which would be off-loaded by the proposed tower), including three miles to the north and six miles to the south. He noted that the new tower could not be located in the desert for capacity improvement. It would need to be near the majority of users. He realized that people were sensitive to the proposed location, but modeling maps for the location showed a significant coverage improvement. The maps did not cover the expected data capacity improvement. The coverage and alternative site maps were shown. Alternative site #2 was 23 feet lower in elevation. Site #3 was nine feet lower and located on a golf range where it would be more visibly obtrusive. Lower elevation would require a higher tower. The proposed site has a good natural elevation.

The applicant noted that the type of tower was also considered. A monopine would not look right and would be taller, as would a water tank. A cyprus would limit antennas which would require more towers. The alternatives to the proposed monopalm would be more visibly obtrusive.

The applicant also noted having read the opposition letters. He stated that the site would not present a traffic issue after construction. At the June 23rd Green Valley Coordinating Council meeting, there was a negative association with a 75-foot tower in Green Valley. The proposed tower is 54 feet tall and will have an elongated pineapple to house antennas. In response to statements on reduced property values, he referenced an opinion letter from a past project that stated that property value appraisals do not consider camouflaged towers. He stated that the proposal uses FCC licensed frequencies and operates at safety levels significantly lower than the FCC established guidelines for public health and safety.

A commissioner asked what the height of the golf course club house was. The applicant indicated it was one story; and staff indicated that it could be 18 feet.

A commissioner asked if the applicant would be amenable to a different design such as a water tower. The applicant indicated that he would be, but that a water tower is more complicated. It would be taller (up to 16 feet tall) and wider to house antennas. It could also cause interference depending on construction materials. The tower would be offered for co-located antennas. The pineapple associated with the proposed palm tree would completely enclose the Verizon antenna, but it was unclear whether other carriers' antennas would fit within the pineapple.

A commissioner indicated that the photo slide of the palm tree did not include antennas within the fronds. Another commissioner asked if antenna arrays were proposed within the green leaves as she had seen at other locations. Staff referred to page 25 of the staff report pdf which showed antenna arrays amongst the fronds. The applicant apologized that the photo did not show the arrays, but he showed it because of concerns expressed with the palm tree design. He wanted to give an idea of what's available.

Another commissioner asked where the tower would be located on the plan. The applicant showed the location within the club house parking lot. He noted that the golf course owner did not want parking spaces nearest to the club house to be used. He indicated that the proposed location is 78 feet from the north property line and approximately 140 feet from the nearest residence which is to the north. The applicant noted that the whole area is residential and this was the only commercial property in the vicinity. It was the only viable property for the tower.

The meeting was opened to the public.

Speaker #1 indicated that he was a member of the Green Valley Coordinating Council. He spoke in favor of the tower request. He indicated that the fire department would benefit from the tower placement. He noted that at the Council's meeting on the proposal, two residents spoke against the request and seven spoke in favor. Of seven letters received, all complained about not being notified. The council received the request two weeks prior to its meeting and sent notice to homeowners associations at the time of receipt of the request. The tower will benefit the whole area.

Speaker #2 spoke in opposition. He stated that he live 100 yards from the proposed site. He stated that the fire and Sheriff's departments said they did not need the tower. He noted that towers he had seen were all in commercial areas. He asked if more towers would be requested. He advocated placing towers in areas where growth was occurring. His area is built and his Verizon service was good. He asked whether the referenced 75-foot tower in the commercial area could be used. He noted that many senior residents in the area of the proposed site could not attend the commission's meeting.

Speaker #3 spoke in opposition. He stated that he was a resident of the area. He noted that the location in question is surrounded by housing, whereas the alternative site shown were not. He noted that any type of camouflaged tower would still be intrusive. He asked that the hearing be continued to allow time to absorb the material and come to a position. He stated the he was a member of the San Ignacio Heights HOA adjacent to the site. He noted that none of the residents that he spoke with were aware of the request and that many are gone. He was also unaware of the Green Valley Coordinating Council's meeting. He said that the GVCC's letter did not contain names from his HOA. No one from his HOA met with the applicant.

Speaker #4 spoke in opposition. He stated that he was a resident of the area. He noted that there are no high structures in his neighborhood, including light poles. His CC&R's prohibit towers and antennas and even limit tree height to protect views of the Santa Cruz valley. He stated that the tower will be twice as high as any structure in the residential area, and that there are residents that will view the tower from their backyards.

Speaker #5 spoke in opposition. She stated that she was a resident of the area. She stated that the existing palm tree tower in Green Valley did not resemble the picture shown. She said that 90% of homes have views of the mountains to the east that will be in view of the tower.

The applicant stated that he has visited the site several times. He reiterated that the site fits the carrier's needs and will provide service to area residents and first responders. He showed a photo of the site looking from east to west. He showed the approximate location of the site and stated that the potential for view blockage was limited. Some residents looking east from uphill looking down could possibly be impacted. Upon a commissioner's request, he showed his guess at the where the top of the tower would be located in the photo, but indicated that a forthcoming photo simulation would be more accurate. He noted that the proposed site is the only viable location in the area, but that the tower design is flexible.

A commissioner recalled a similar case in Green Valley where an antenna was proposed for a location on an existing telephone pole that even generated controversy.

Staff confirmed for the commission that the rezoning conditions of the site restrict uses and this was the reason for the hearing. The proposed tower is otherwise a permitted use in the subject CB-2 zone.

The public hearing was closed.

Commissioner Bain made a motion to **APPROVE** the modification of rezoning conditions as recommended by staff including substituting the word "exceed" for the word "increase" in line four of recommended condition #17. Discussion ensued as to whether to leave the camouflaged structure type as a monopalm, or provide a more general requirement for camouflage. Staff recommended keeping the monopalm wording which would allow simple substitution by the Board of Supervisors if necessary upon further consideration. Commissioner Johns gave second to the motion.

The commission voted to **APPROVE** the modification (substantial change) of rezoning conditions (7 – 1, Commissioner Gavin voted Nay, Commissioners Membrila and Cook were absent) as per staff recommendations as follows:

10. Adherence to the revised preliminary development plan approved on April 15, 1997 (new date of approval).
16. Use of the western 4.96 acres is limited to a golf course club house, pro shop, and restaurant, and a communication tower as approved by the architectural review committee of the Green Valley Coordinating Council. Use of the eastern 2.04 acres is limited to six residential lots and units as approved by the architectural review committee of the Green Valley Coordinating Council.
17. The communication tower shall be a maximum of 54 feet in height and shall be in the form of a monopalm. An exception to the 54-foot height limit for co-located antenna attachments is allowed provided the tower height is not increased and the co-located antenna does not increase exceed the height of the tower by more than two feet and does not extend from the tower a distance that is greater than that of the existing antennas. The communication tower and equipment area shall be located within the parking lot of the golf course club house as shown on the approved revised preliminary development plan and shall not encumber more than four non-handicapped parking spaces and an end row landscape median. The communication tower and equipment area shall be enclosed by a sight-obscuring minimum eight-foot-high tube steel fence and gate.

TD/DP/ar
Attachments

cc: Borderland Investments I, LLC, Attn: Morgan North, 400 E. 38th Street
Tucson, AZ 85713-4871
SBA Communications Corp., Attn: Marques Jackson, 8051 Congress Avenue
Boca Raton, FL 33487-1307
Wavelength Management, Attn: Rob Jones, 2200 E. Williams Field Road, Suite 200
Gilbert, AZ 85295
Tom Drzazgowski, Principal Planner
Co9-89-21 File

PIMA COUNTY DEVELOPMENT SERVICES DEPARTMENT - PLANNING DIVISION
STAFF REPORT TO THE PLANNING AND ZONING COMMISSION

HEARING July 13, 2016

DISTRICT 4

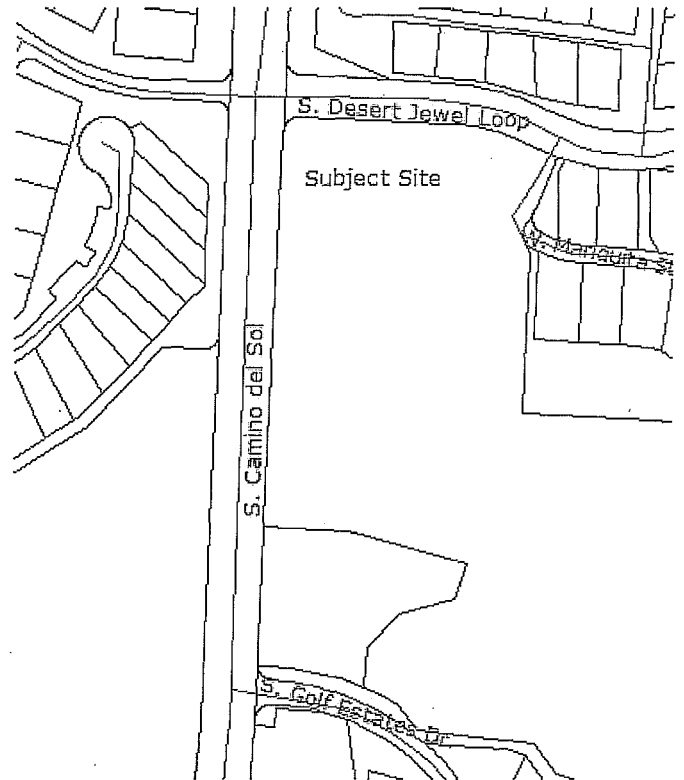
CASES Co9-89-21 Lawyers Title and Trust, TR #6486-T – Interstate 19 #2 Rezoning

REQUEST Modification of Rezoning Conditions - (Substantial Change) on 4.96-acre CB-2 Portion of 20.12 Acre Parcel

OWNER Borderland Investments I, LLC
Attn: Morgan North
400 E. 38th Street
Tucson, AZ 85713-4871

APPLICANT SBA Communications Corp.
Attn: Marques Jackson
8051 Congress Avenue
Boca Raton, FL 33487-1307

AGENT Wavelength Management
Attn: Rob Jones
2200 E. Williams Field Road,
Suite 200
Gilbert, AZ 85295



APPLICANT'S REQUEST

Modification (substantial change) of the of rezoning condition #16, which limits use to a golf course club house, pro shop, and restaurant as approved by the architectural review committee of the Green Valley Coordinating Council, to allow the additional use of a communication tower.

COMPREHENSIVE PLAN DESIGNATION

The comprehensive plan designation of the site is Neighborhood Activity Center (NAC). The existing CB-2 zoning complies with NAC. The objective of NAC is to designate lower intensity mixed-use areas designed to provide goods and services within or near residential neighborhoods for day-to-day and weekly living needs. The center may include a mix of medium-density housing types.

SURROUNDING LAND USES / GENERAL CHARACTER

North:	TR / RH(GC)	Desert Jewel Loop / Residential / Golf Course (Cart Path)
South:	RH (GC)	Golf Course
East:	CB-2 / TR	Mariquita Street / Residential (both zones)
West:	TR	Camino del Sol / Residential

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the request to modify rezoning condition #'s 10 and 16 to add the use of a communication tower to the restricted uses of golf course club house, pro shop, and restaurant for this 4.96-acre portion of the 7.0-acre original rezoning. The 2.04-acre balance of the CB-2 rezoning is restricted to six residential lots that are part of the mostly TR-zoned residential subdivision to the east. A modification (substantial change) of rezoning condition #'s 10 and 16 for the 2.04-acre portion to allow the residential use was approved by the Board of Supervisors on April 15, 1997 (BOS Minutes attached). In order to clarify these separate restricted use areas under a unified condition #16, as well as to add the requested use of a communication tower that is designed to mitigate adverse visual impact, staff recommends modification of condition #'s 10 and 16 and addition of condition #17 as follows:

10. Adherence to the revised preliminary development plan approved on April 15, 1997 (new date of approval).
16. Use of the western 4.96 acres is limited to a golf course club house, pro shop, and restaurant, and a communication tower as approved by the architectural review committee of the Green Valley Coordinating Council. Use of the eastern 2.04 acres is limited to six residential lots and units as approved by the architectural review committee of the Green Valley Coordinating Council.
17. The communication tower shall be a maximum of 54 feet in height and shall be in the form of a monopalm. An exception to the 54-foot height limit for co-located antenna attachments is allowed provided the tower height is not increased and the co-located antenna does not increase the height of the tower by more than two feet and does not extend from the tower a distance that is greater than that of the existing antennas. The communication tower and equipment area shall be located within the parking lot of the golf course club house as shown on the approved revised preliminary development plan and shall not encumber more than four non-handicapped parking spaces and an end row landscape median. The communication tower and equipment area shall be enclosed by a sight-obscuring minimum eight-foot-high tube steel fence and gate.

STAFF REPORT

Staff supports the request to modify rezoning condition #'s 10 and 16 to allow the additional use of a communication tower. It appears that the use is needed and that the location is optimal for effective and efficient service while minimizing visual impacts to area residents. As required per condition #16, the Green Valley Coordinating Council has approved the use per the attached June 30, 2016 email communication to staff. The applicant presented the communication tower proposal to the GVC Planning and Architectural Committee on June 23, 2016.

Despite the intensive CB-2 zoning, the golf course club house is in a residential setting. To ameliorate potential visual impacts to area residents and to reduce visual obstruction for vehicles in the parking lot, recommended condition #17 requires adherence to the request relative to the communication tower height and design and to the equipment area screening. Height exception pertaining to anticipated future antenna co-location is recommended. The exception is similar to provisions in zoning code Section 18.07.030H.2.e.6; however, staff understands that the antenna co-location may be internal.

The applicant proposes a 54-foot-high tower with the appearance of a palm tree (monopalm) to fill the described "significant gap in service" provided by Verizon Wireless. The proposed site is within the parking lot of the San Ignacio Golf Course clubhouse. The applicant notes that the tower will provide data capacity and improve coverage within the area for use by golfers, residents, commuters, and emergency responders including law enforcement agencies. The applicant states, "This location offers the least intrusive means to provide wireless service to the area. It is the only location offering commercial zoning and has natural elevation allowing the communication tower to propagate signal without the need for a taller structure." The CB-2 zoning allows the tower as a permitted use. The zoning code encourages location of communication towers in business and industrial zones.

The applicant notes that the monopalm was chosen to protect the aesthetics of the neighborhood. Proposed setbacks to property boundaries range from approximately 76 feet to approximately 638 feet. The closest residence is noted to be over 140 feet away. The minimum required setback is 50 feet, or the height of the tower (54 feet) when adjacent to residential zoning or use. Among other development standards, the zoning code requires landscaping in accordance with Chapter 18.73 to screen the equipment area from residential uses and public streets. The landscaped parking area boundaries adjacent to roads provide intermittent tree screening.

The tower site, including equipment, will consume four parking spaces and an end row landscape median within the parking lot. This will reduce parking spaces to the minimum required for the golf course and clubhouse restaurant use. It appears that the one space required for the communication tower use can be satisfied within the proposed equipment enclosure area. At the request of staff, rather than providing the described eight-foot-tall concrete masonry unit wall to surround the tower and equipment, the applicant will provide an eight-foot-high tube steel fence to secure and screen the use. This should improve the sight visibility of vehicular movement within the parking area while obscuring the sight of the equipment.

Concurrency

Concurrency of infrastructure review was not performed because the proposed communication tower will not generate measurable traffic or impact other infrastructure. It is not proposed to be a manned facility.

Maeveen Marie Behan Conservation Lands System

The site is not within the MMB Conservation Lands System.

Rezoning Case History

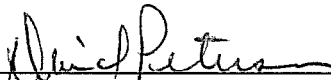
The original CB-2 rezoning site was 7.0 acres. A proposed golf course clubhouse, pro shop, detached restaurant, golf cart storage area, putting green, and requisite parking area in addition to an overflow parking area was proposed for the area of the rezoning. CB-2 zoning was stated as necessary to obtain a No. 6 liquor license. The rezoning was approved on August 1, 1989. The conditional requirement for architectural review approval by the Green Valley Coordinating Council originated from a policy of the (now rescinded) Green Valley Community Plan. The uses were subsequently developed, but the restaurant was combined with the clubhouse building. On April 15, 1997, a modification (substantial change) to rezoning condition #'s 10 and 16 was approved for 2.04 acres of the rezoning site to allow development of six residential lots within the area originally planned for the restaurant, overflow parking, and open space. The six

residential lots have been developed as part of a mostly TR-zoned subdivision to the east and the open space has been retained as natural common area. The parcel on which the clubhouse and associated uses exist, and where the subject communication tower is proposed, is 20.12 acres. It includes RH(GC) zoning containing two holes of the golf course.

PUBLIC COMMENT

To date, staff has not received any written public comment pertaining to this request.

Respectfully Submitted,



David Petersen, AICP
Senior Planner

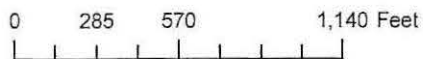
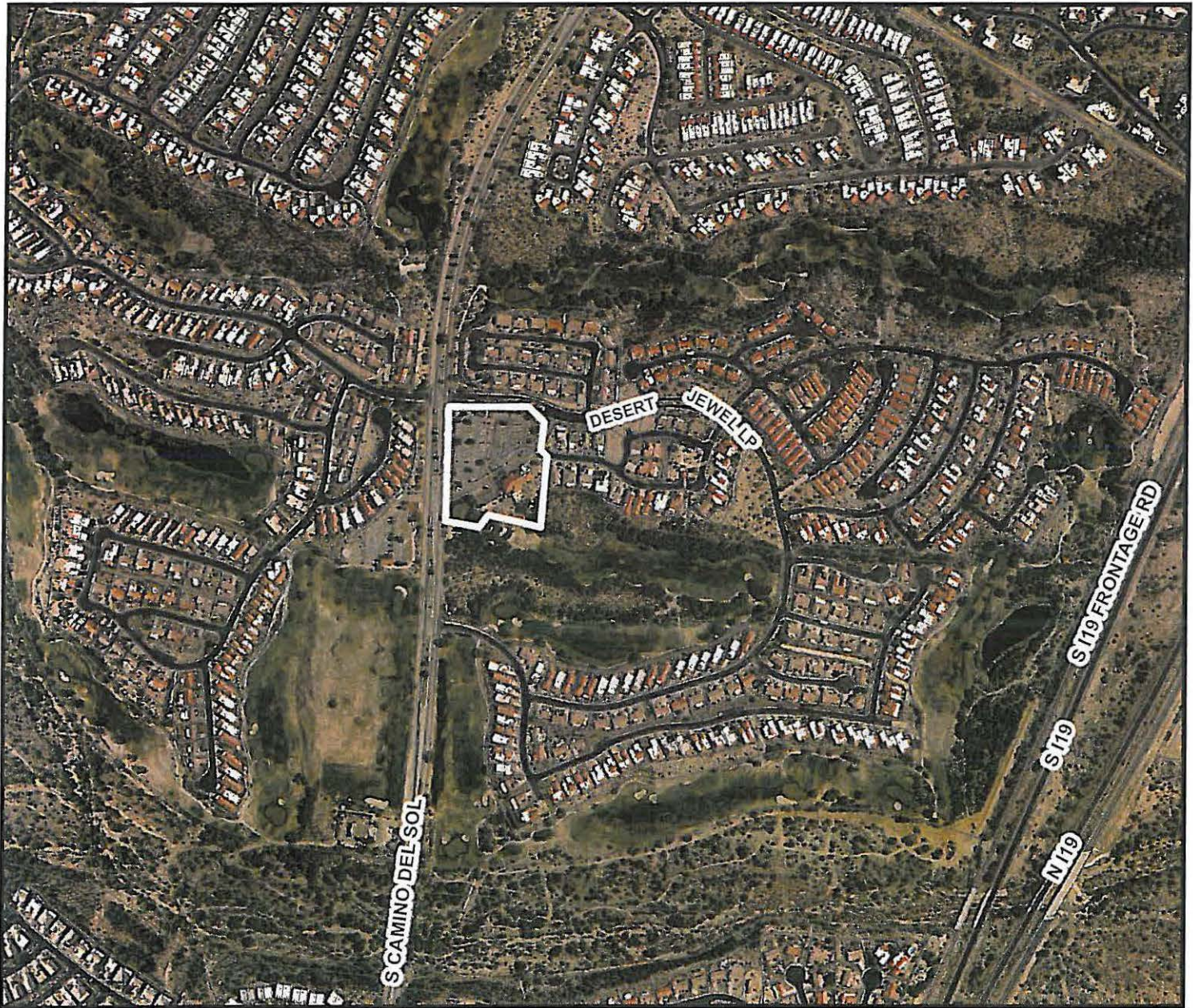
TD/DP

- c: Borderland Investments I, LLC, Attn: Morgan North, 400 E. 38th Street, Tucson, AZ 85713-4871
- SBA Communications Corporation, Attn: Marques Jackson, 8051 Congress Ave., Boca Raton, FL 33487-1307
- Wavelength Management, Attn: Rob Jones, 2200 E. Williams Field Road, Ste. 200, Gilbert, AZ 85295



Case #: Co9-89-21

Case Name: LAWYERS TITLE AND TRUST, TR #6486-T - INTERSTATE 19 #2 REZONING

Tax Code(s): Portion of 304-28-991N





**PIMA COUNTY DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

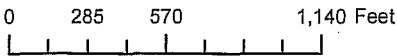
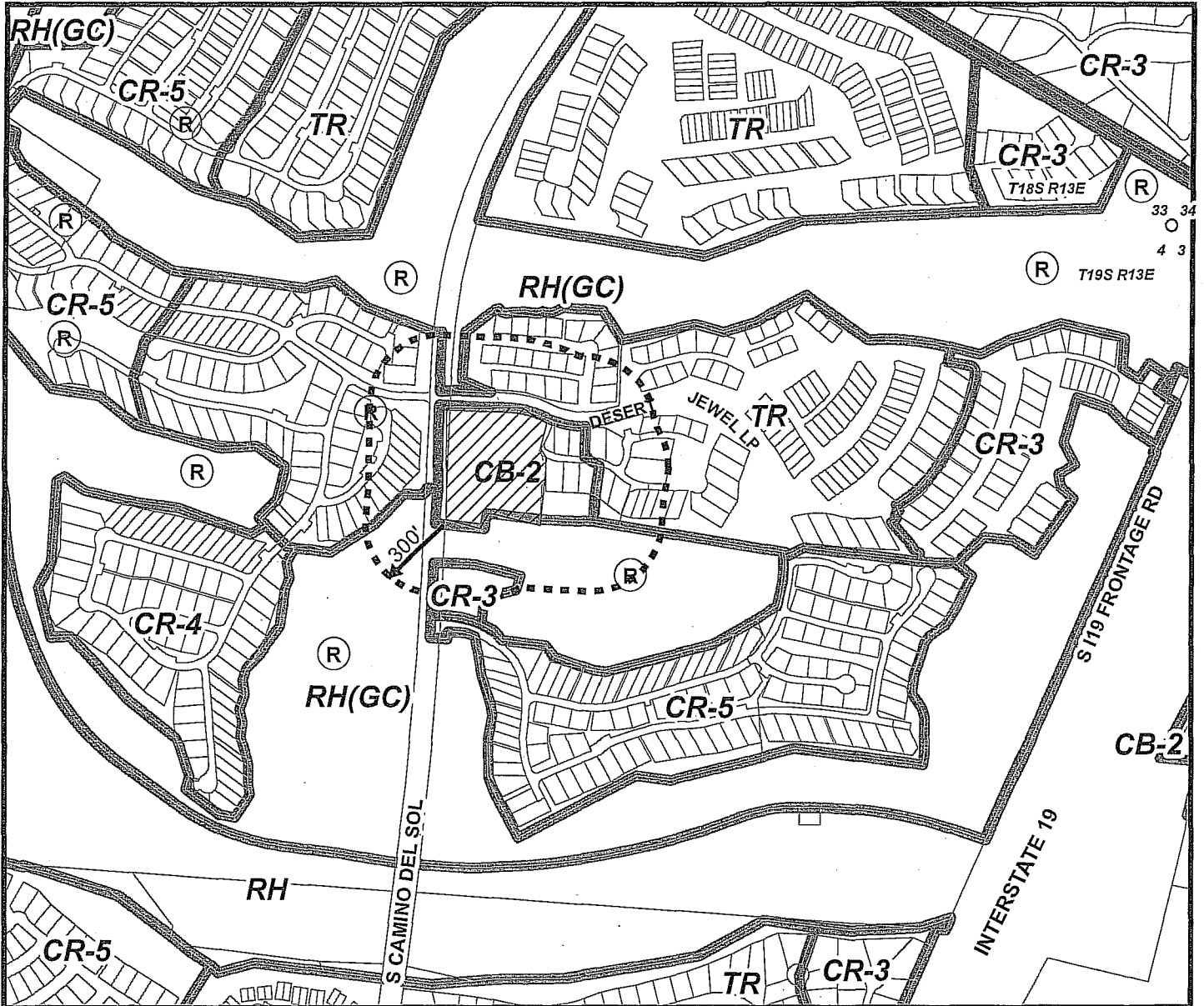
	Notes: Modification of Rezoning Condition - Substantial Change		
	PIMA COUNTY COMPREHENSIVE PLAN CO7-13-10		
	Planning & Zoning Hearing: 07/13/16 (scheduled)	Board of Supervisors Hearing:	
	Base Map(s): 1010	Map Scale: 1:8,000	


Case #: Co9-89-21

Case Name: LAWYERS TITLE AND TRUST, TR #6486-T - INTERSTATE 19 #2 REZONING

Tax Code(s): Portion of 304-28-991N

 Notification Area
 Zoning Boundary



Subject Site 

**PIMA COUNTY DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

Notes: **Modification of Rezoning Condition - Substantial Change**

PIMA COUNTY COMPREHENSIVE PLAN CO7-13-10

Planning & Zoning Hearing: 07/13/16 (scheduled)

Board of Supervisors Hearing: 08/15/16 (scheduled)

Base Map(s): 1010

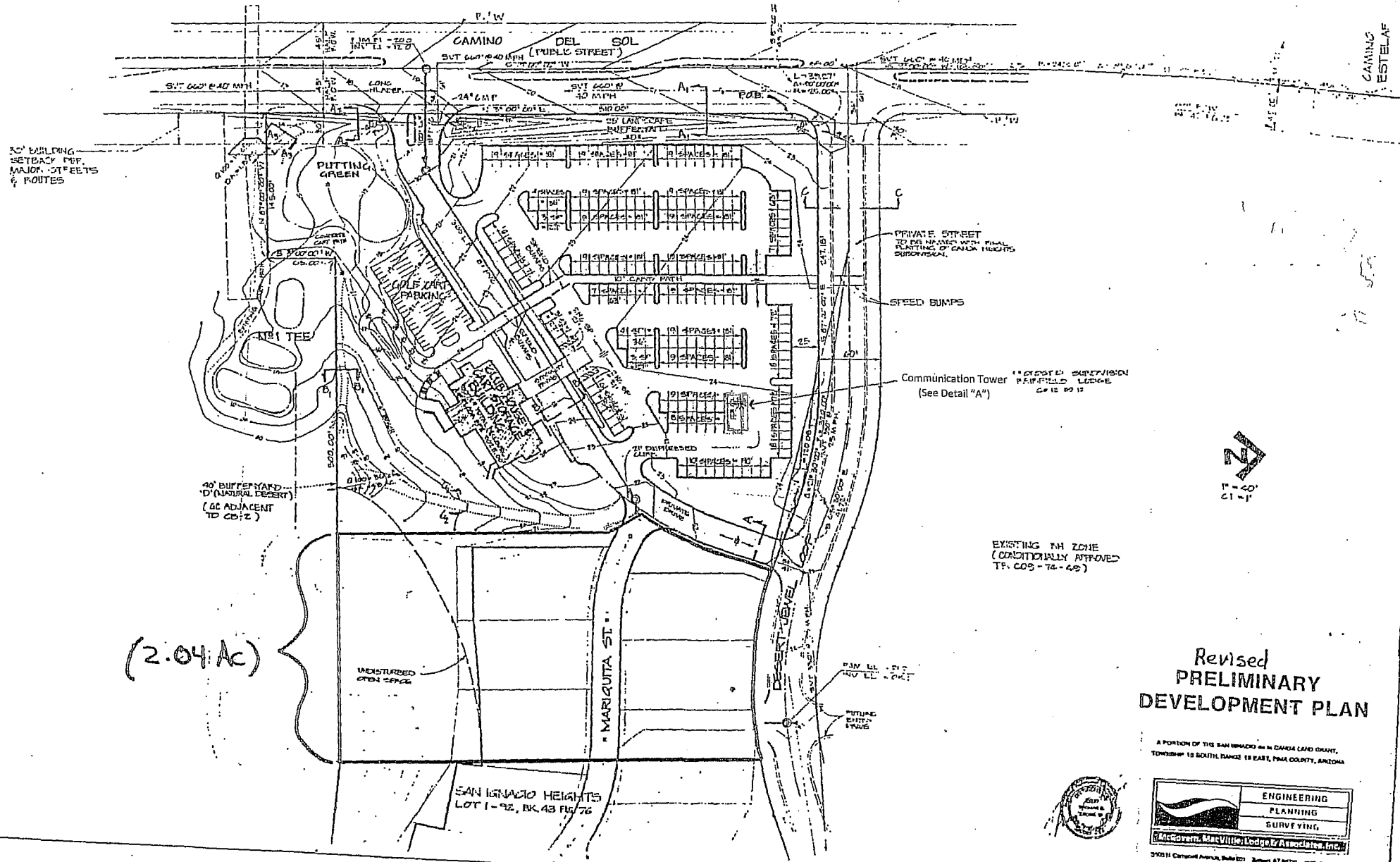
Map Scale: 1:8,000

Map Date: 07/18/2016



EXISTING TM ZONE
(CONDITIONALLY APPROVED
TR. COS - 74 - 41)

CAMINO
ESTELAF



(2.04 Ac)



EXISTING TM ZONE
(CONDITIONALLY APPROVED
TR. COS - 74 - 49)

Revised PRELIMINARY DEVELOPMENT PLAN

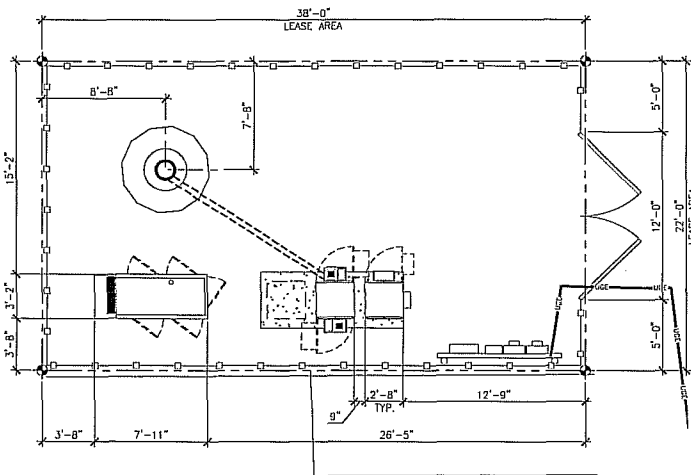
A PORTION OF THE SAN IGNACIO AND CANA LAND GRANT,
TOWNSHIP 19 NORTH, RANGE 18 EAST, PIMA COUNTY, ARIZONA



	ENGINEERING
	PLANNING
SURVEYING	
McGovern, MacVittie, Lodge & Associates, Inc.	

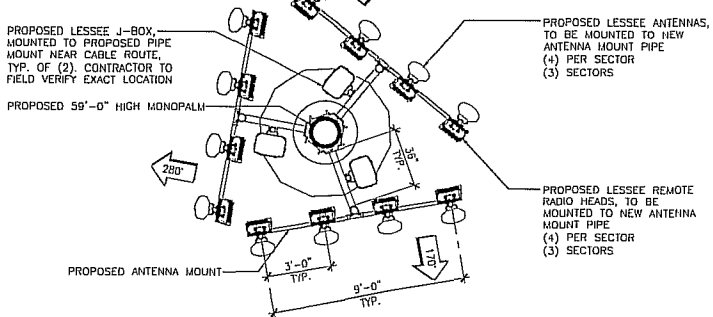
3903 N. Central Avenue, Suite 101, Scottsdale, AZ 85251 (602) 974-3995

CO9-89-21

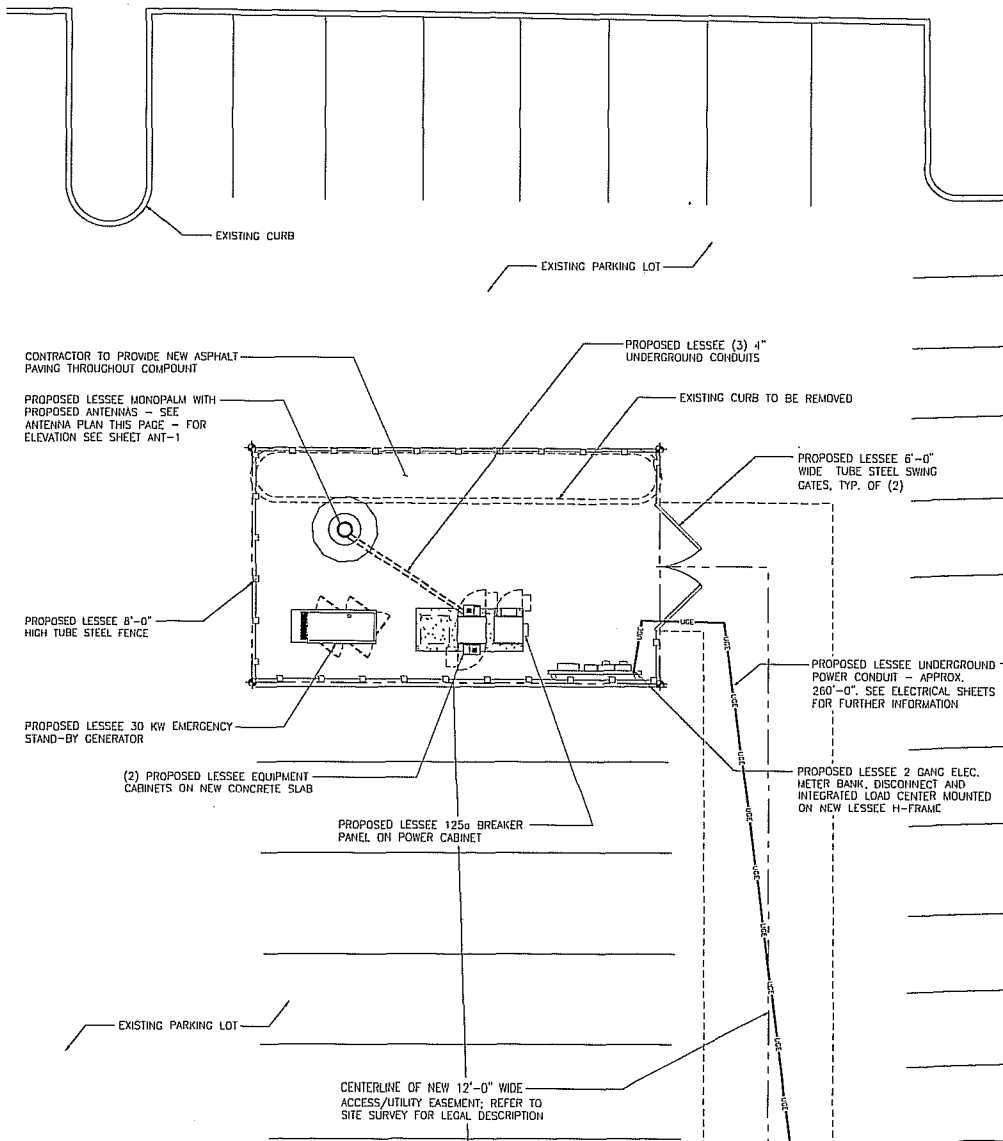


2
NORTH
SITE DIMENSION PLAN
1/4" = 1'-0"
0 2' 4' 10'

NOTE:
PALM FRONDS
HIDDEN FOR CLARITY



3
NORTH
ENLARGED ANTENNA PLAN
3/8" = 1'-0"
0 2' 4' 10'



1
NORTH
SITE PLAN
SCALE: 3/16" = 1'-0"
0 2' 4' 10'



SBA
800 BOULEVARD, SUITE 100
BOCA RATON, FL 33487
PHONE: (407) 401-7400

RK
3180 S. WILLOW SUITE 100
PHOENIX, AZ 85018
PHONE: (480) 261-1412

DATE	DESCRIPTION	BY

REVISIONS

NO	DESCRIPTION	DATE

SITE#: TBD
SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622

THIS DOCUMENT CONTAINS AN ELECTRONIC SIGNATURE PLACED BY A REGISTERED PROFESSIONAL ENGINEER. ANY REPRODUCTION OR DISTRIBUTION OF THIS DOCUMENT, WITHOUT THE WRITTEN PERMISSION OF THE SIGNER, IS PROHIBITED.

DRAWN BY: IG
CHECKED BY: BK
DATE: 11/18/15
PROJECT #: 14434

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-1

Communication Tower Detail "A"

GVC Planning and Architectural Committee Approval

Elva Pedrego

From: Jessica Schiff <schiff@gvcouncil.org>
Sent: Thursday, June 30, 2016 2:48 PM
To: Elva Pedrego
Subject: Recommendation for Cell Tower on Camino del Sol

June 30, 2016

The GVC Planning and Architectural Committee met on June 23, 2016 at 9 AM to review the proposed cell tower to be located at 4201 S Camino del Sol, Green Valley, AZ 85622. A group of adjoining residents attended the meeting, all but a couple expressed support for the cell tower. Most were pleased because of the poor cell phone coverage in that area.

The Committee discussed the pros and cons presented by the consultant for Verizon Wireless. After hearing all of the facts, the committee voted unanimously to recommend approval to the Pima County Planning Board.

Best Regards,

Don Weaver, GVC President



**WAVELENGTH
MANAGEMENT**

2200 E. Williams Field Rd.

Suite 200

Gilbert, AZ 85295

March 23, 2016

Pima County
Building and Site Development
201 N. Stone Avenue, 1st Floor
Tucson, AZ 85701

Special Use Request

Property

San Ignacio Golf Course
4201 South Camino del Sol
Green Valley, AZ 85622
304-28-991N
20.12 Acres

Owner

Borderland Investments
Morgan North
P.O. Box 27406
Tucson, AZ 85726
520-623-0900

Applicant

SBA COMMUNICATIONS CORPORATION
Marques Jackson
8051 Congress Avenue
Boca Raton, FL 33487-1307
561.322.7829

Agent

Wavelength Management
Rob Jones
2200 E. Williams Field Rd
Suite 200
Gilbert, AZ 85295



WAVELENGTH MANAGEMENT

2200 E. Williams Field Rd.

Suite 200

Gilbert, AZ 85295

Justification for the request

Wavelength Management, as Agent to the Applicant, SBA Towers, is requesting a Modification of Rezoning to parcel 304-28-991N. The modification will allow for the addition of a communication tower. This parcel is owned by Borderland Investments and serves as the clubhouse for San Ignacio Golf Course with the address 4201 South Camino del Sol, Green Valley, AZ 85622.

in 1989 the subject parcel was rezoned to CB-2, with limited use, in the case Co-89-21. Rezoning condition #16 of the case limited the use to a golf course clubhouse, pro shop, and restaurant.

18.07.030.H.2.e of the Pima Municode states that communication towers are required to receive approval of a Type III conditional use permit in all zones except CB-2, CI-1, CI-2 and CI-3. Within CB-2 zoned properties the use of a communication tower is considered "by right".

SBA Towers is proposing a new 54' monopalm for the use of Verizon Wireless. This site is necessary to fill a significant gap in service, as prescribed by the F.C.C. This site will provide data capacity and improve coverage within San Ignacio, along I19 and the surrounding areas. This will serve golf patrons, residents, commuters and first responders (Pima County Sheriffs, Arizona Department of Public Safety, Border Patrol and many more). The proposed tower is being developed to allow for future collocation, further reducing the proliferation of towers in the vicinity.

SBA has chosen to develop a monopalm to protect the aesthetic quality of the neighborhood. The monopalm achieves setbacks greater than 76' to the property lines and more than 140' to the closest residence. The equipment area will be surrounded by an 8' tall concrete masonry unit wall that will be painted to match the surrounding buildings. The site will operate twenty-four hours a day, seven days a week, but is an unmanned facility with no personnel or regular hours of operation. This development will not increase traffic, use water, generate wastewater, create glare, odors or sounds affecting the surrounding areas.

This location offers the least intrusive means to provide wireless service in the area. It is the only location offering commercial zoning and has natural elevation allowing the communication tower to propagate signal without the need for a taller structure.



PIMA COUNTY

DEVELOPMENT SERVICES

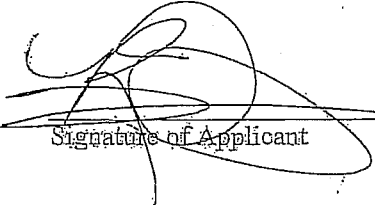
Building & Site Development
201 N. Stone Avenue, 1st Floor
Tucson, AZ 85701-1207

LETTER OF AUTHORIZATION

As required by Arizona Revised Statutes I hereby certify that I am the owner of the property referenced below, and that the party whose name is listed below is authorized to take out Development Services permits in my name:

4201 South Camino del Sol, Green Valley, AZ 85622
Property Address

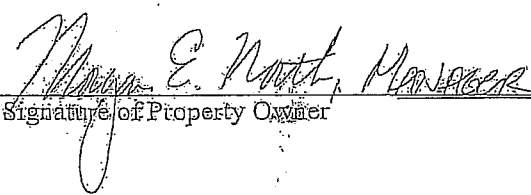
Special Use Permit- Modification of Rezoning Condition (Wireless Communication Facility)
Type of Permit Applied for: (SFR/MF/Remodel/Addition/Fence or Wall/Home Occupation/Child Care/Secondary Dwelling/Assisted Living Home/Group Home)



Signature of Applicant

3/23/2016
Date

AUTHORIZED BY:



Signature of Property Owner

3-21-2016
Date

Per Board of Technical Registration and Registrar of Contractors regulation, Registrants and Licensed Contractors may apply for building permits without use of this form.

**ARIZONA CORPORATION COMMISSION
CORPORATIONS DIVISION COVER SHEET**

USE A SEPARATE COVER SHEET FOR EACH DOCUMENT

ARE YOU FILING: New Entity Change to existing entity Re-submission/Correction

PLEASE COMPLETE ALL APPROPRIATE SECTIONS

Type in Corp/LLC Name: BORDERLAND INVESTMENTS I, L.L.C.

FILING TYPE	REGULAR SERVICE FEE	EXPEDITED SERVICE FEE
<input type="checkbox"/> Articles of Domestication	<input type="checkbox"/> \$100.00	<input type="checkbox"/> \$135.00
<input type="checkbox"/> Articles of Incorporation (Profit)	<input type="checkbox"/> \$ 60.00	<input type="checkbox"/> \$ 95.00
<input type="checkbox"/> Articles of Incorporation (Non Profit)	<input type="checkbox"/> \$ 40.00	<input type="checkbox"/> \$ 75.00
<input checked="" type="checkbox"/> Articles of Organization (Limited Liability Company)	<input type="checkbox"/> \$ 50.00	<input checked="" type="checkbox"/> \$ 85.00
<input type="checkbox"/> Application For Authority (Business)	<input type="checkbox"/> \$175.00	<input type="checkbox"/> \$210.00
<input type="checkbox"/> Application to Conduct Affairs (Non Profit)	<input type="checkbox"/> \$175.00	<input type="checkbox"/> \$210.00
<input type="checkbox"/> Application for New Authority	<input type="checkbox"/> \$175.00	<input type="checkbox"/> \$210.00
<input type="checkbox"/> Application for Registration	<input type="checkbox"/> \$150.00	<input type="checkbox"/> \$185.00
<input type="checkbox"/> Articles of Amendment	<input type="checkbox"/> \$ 25.00	<input type="checkbox"/> \$ 60.00
<input type="checkbox"/> Articles of Amendment & Restatement	<input type="checkbox"/> \$ 25.00	<input type="checkbox"/> \$ 60.00
<input type="checkbox"/> Articles of Correction	<input type="checkbox"/> \$ 25.00	<input type="checkbox"/> \$ 60.00
<input type="checkbox"/> Articles of Merger/Share Exchange	<input type="checkbox"/> \$100.00	<input type="checkbox"/> \$135.00
<input type="checkbox"/> Articles of Merger (Limited Liability Company)	<input type="checkbox"/> \$ 50.00	<input type="checkbox"/> \$ 85.00
<input type="checkbox"/> Affidavit of Publication	<input type="checkbox"/> \$ 0.00	<input type="checkbox"/> \$ 35.00
<input type="checkbox"/> CORPORATIONS -Certified Copies* <small>*If copies are for different entities the Expedite fee applies to each entity</small>	<input type="checkbox"/> \$5.00 Each () (Enter Quantity)	<input type="checkbox"/> \$40.00 () (Enter Quantity)
<input type="checkbox"/> LLCs - Certified Copies* <small>*If copies are for different entities the Expedite fee applies to each entity</small>	<input type="checkbox"/> \$10.00 Each () (Enter Quantity)	<input type="checkbox"/> \$45.00 () (Enter Quantity)
<input type="checkbox"/> Good Standing Certificate* <small>*If Good Standing Certificates are for different entities the Expedite fee applies to each entity</small>	<input type="checkbox"/> \$10.00 Each () (Enter Quantity)	<input type="checkbox"/> \$45.00 () (Enter Quantity)
<input type="checkbox"/> Other: _____	<input type="checkbox"/> Regular Fee	<input type="checkbox"/> Expedite Fee

SELECT PAYMENT TYPE:

DO NOT WRITE YOUR CREDIT CARD NUMBER ON THIS FORM!

Check Check # _____ Check Amount \$ RECEIVED
 M.O.D. Account MOD Acct # _____ Mod Amount \$ _____
 Cash -- for in-person filings only (Do not send cash in the mail.) Cash Amount \$ DEC 27 2012
 Credit Card -- for in-person filings only CC Amount \$ _____
 No fee required

ARIZONA CORP COMMISSION
CORPORATIONS DIVISION

SELECT ONE RETURN DELIVERY OPTION: Mail Pick Up Fax# () _____

REQUIRED: Please list the person or company who will be picking up the completed documents.
DOCUMENTS WILL BE MAILED IF THEY ARE NOT PICKED UP IN A TIMELY MANNER (APPROXIMATELY TWO WEEKS).

Person or Company Name: EZ MESSENGER Phone Number: 623-8436

Address: _____

City: Tucson, State: AZ. Zip: _____

FOR ARIZONA CORPORATION COMMISSION USE ONLY

PICK-UP BY: _____ DATE: _____

View current process times at: www.azcc.gov/Divisions/Corporations

RECEIVED

DEC 27 2012

ARIZONA CORP COMMISSION
CORPORATIONS DIVISION

DO NOT WRITE ABOVE THIS LINE; RESERVED FOR ACC USE ONLY.

ARTICLES OF ORGANIZATION

Read the Instructions L010i

1. ENTITY TYPE – check only one to indicate the type of entity being formed:

LIMITED LIABILITY COMPANY

PROFESSIONAL LIMITED LIABILITY COMPANY

2. ENTITY NAME – see Instructions L010i for naming requirements – give the exact name of the LLC:

BORDERLAND INVESTMENTS I, L.L.C.

3. PROFESSIONAL LIMITED LIABILITY COMPANY SERVICES – if professional LLC is checked in number 1 above, describe the professional services that the professional LLC will provide (examples: law firm, accounting, medical):

4. STATUTORY AGENT – see Instructions L010i:

4.1 REQUIRED – give the name (can be an individual or an entity) and physical or street address (not a P.O. Box) in Arizona of the statutory agent:			4.2 OPTIONAL – mailing address in Arizona of Statutory Agent (can be a P.O. Box):		
C. J. PRETTYMAN, JR.					
Statutory Agent Name			Attention (optional)		
400 E. 38th STREET			Address 1		
Address 1			Address 2 (optional)		
Address 2 (optional)	AZ.	85713	Address 2 (optional)	State	Zip
City TUCSON	State	Zip	City	State	Zip
4.3 REQUIRED – the Statutory Agent Acceptance form M002 must be submitted along with these Articles of Organization.					

5. ARIZONA KNOWN PLACE OF BUSINESS ADDRESS:

- 5.1 Is the Arizona known place of business address the same as the street address of the statutory agent? Yes – go to number 6 and continue No – go to number 5.2 and continue

5.2 If you answered "No" to number 5.1, give the physical or street address (not a P.O. Box) of the known place of business of the LLC in Arizona:

Attention (optional)					
Address 1					
Address 2 (optional)					
City	State or Province		Zip		
Country					

6. DURATION – the duration or life period of the LLC is presumed to be perpetual *unless* one of the boxes is checked below *and* the corresponding blank is filled in:

- The LLC's life period will end on this **date**: _____ (enter a date)
 The LLC's life period will end upon the occurrence of this **event** _____ (describe an event)

COMPLETE NUMBER 7 OR NUMBER 8 – NOT BOTH.

- 7. MANAGER-MANAGED LLC** – see *Instructions L010i* – check this box if management of the LLC will be vested in a manager or managers, and complete and attach the Manager Structure Attachment form L040. *The filing will be rejected if it is submitted without the attachment.*
- 8. MEMBER-MANAGED LLC** – see *Instructions L010i* – check this box if management of the LLC will be reserved to the members, and complete and attach the Member Structure Attachment form L041. *The filing will be rejected if it is submitted without the attachment.*
- 9. ORGANIZERS** – list the **name and address**, and provide the **signature**, of each and every organizer – minimum of one is required. If more space is needed, check this box and complete and attach the Organizer Attachment form L042.

MORGAN E. NORTH
Name

1810 N. WENTWORTH ROAD
Address 1

Address 2 (optional)
TUCSON AZ 85749
City State Zip

UNITED STATES
Country

MORGAN A. NORTH
Name

2018 FENNIMORE AVENUE
Address 1

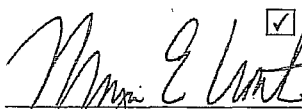
Address 2 (optional)
TUCSON AZ 85749
City State Zip

UNITED STATES
Country

SIGNATURE – see *Instructions L010i*:

By checking the box marked "I accept" below, I acknowledge *under penalty of perjury* that this document together with any attachments is submitted in compliance with Arizona law.

I ACCEPT


Signature

MORGAN E. NORTH 12-21-2012
Printed Name Date


IF SIGNING FOR AN ENTITY, CHECK ONE, FILL IN BLANK:

- Corporation as Organizer** - I am signing as an officer or authorized agent of a corporation and its name is:
-
- LLC as Organizer** - I am signing as a member, manager, or authorized agent of a **limited liability company**, and its name is:

SIGNATURE – see *Instructions L010i*:

By checking the box marked "I accept" below, I acknowledge *under penalty of perjury* that this document together with any attachments is submitted in compliance with Arizona law.

I ACCEPT


Signature

MORGAN A. NORTH 12/21/12
Printed Name Date

IF SIGNING FOR AN ENTITY, CHECK ONE, FILL IN BLANK:

- Corporation as Organizer** - I am signing as an officer or authorized agent of a corporation and its name is:
-
- LLC as Organizer** - I am signing as a member, manager, or authorized agent of a **limited liability company**, and its name is:

<p>Filing Fee: \$50.00 (regular processing) Expedited processing – add \$35.00 to filing fee. All fees are nonrefundable - see Instructions.</p>	<p>Mail: Arizona Corporation Commission Corporate Filings Section 1300 W. Washington St., Phoenix, Arizona 85007 Fax: 602-542-4100</p>
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Please be advised that A.C.C. forms reflect only the **minimum** provisions required by statute. You should seek private legal counsel for those matters that may pertain to the individual needs of your business.
 All documents filed with the Arizona Corporation Commission are **public record** and are open for public inspection.
 If you have questions after reading the Instructions, please call 602-542-3026 or (within Arizona only) 800-345-5819.

DO NOT WRITE ABOVE THIS LINE; RESERVED FOR ACC USE ONLY.

ORGANIZER ATTACHMENT

1. ENTITY NAME as listed on Articles of Organization:

BORDERLAND INVESTMENTS I, L.L.C.

2. ORGANIZERS - List the name and address, and provide the signature, of additional ORGANIZERS of the LLC - if more space is needed, use another Organizer Attachment form.

SANFORD T. ALLEN, JR.

Name
4041 N. VISTA CIUDAD
Address 1

Address 2 (optional)
TUCSON AZ 85750
City State Zip
UNITED STATES

Country

SIGNATURE - see Instructions L010i:

By checking the box marked "I accept" below, I acknowledge *under penalty of perjury* that this document together with any attachments is submitted in compliance with Arizona law.

I ACCEPT

Signature
SANFORD T. ALLEN, JR. 12/21/12
Printed Name Date

IF SIGNING FOR AN ENTITY, CHECK ONE, FILL IN BLANK:

Corporation as Organizer - I am signing as an officer or authorized agent of a corporation and its name is:

LLC as Organizer - I am signing as a member, manager, or authorized agent of a limited liability company, and its name is:

STEPHEN G. SHEPHERD

Name
7656 N. QUAIL RIDGE DRIVE
Address 1

Address 2 (optional)
TUCSON AZ 85743
City State Zip
UNITED STATES

Country

SIGNATURE - see Instructions L010i:

By checking the box marked "I accept" below, I acknowledge *under penalty of perjury* that this document together with any attachments is submitted in compliance with Arizona law.

I ACCEPT

Signature
STEPHEN G. SHEPHERD 12-21-12
Printed Name Date

IF SIGNING FOR AN ENTITY, CHECK ONE, FILL IN BLANK:

Corporation as Organizer - I am signing as an officer or authorized agent of a corporation and its name is:

LLC as Organizer - I am signing as a member, manager, or authorized agent of a limited liability company, and its name is:

DO NOT WRITE ABOVE THIS LINE; RESERVED FOR ACC USE ONLY.

MEMBER STRUCTURE ATTACHMENT

1. **ENTITY NAME** – give the exact name of the LLC (foreign LLCs – give name in domicile state or country):
BORDERLAND INVESTMENTS I, L.L.C.

2. **A.C.C. FILE NUMBER** (if known): _____
 Find the A.C.C. file number on the upper corner of filed documents OR on our website at: <http://www.azcc.gov/Divisions/Corporations>

3. **Check one box only to indicate what document the Attachment goes with:**

- Articles of Organization Articles of Amendment
 Application for Registration Articles of Amendment to Application for Registration

4. **MEMBERS** – give the name and address of all **Members**. If more space is needed, use another Member Structure Attachment form.

MORGAN E. NORTH			MORGAN A. NORTH		
Name 1810 N. WENTWORTH ROAD			Name 2018 FENNIMORE AVENUE		
Address 1			Address 1		
Address 2 (optional) TUCSON		AZ	Address 2 (optional) TUCSON		AZ
City		85749	City		85749
Country		State or Province	Country		State or Province
UNITED STATES			UNITED STATES		
SANFORD T. ALLEN, JR.			STEPHEN G. SHEPHERD		
Name 4041 N. VISTA CUIDAD			Name		
Address 1			Address 1 7656 N. QUAIL RIDGE DRIVE		
Address 2 (optional) TUCSON		AZ	Address 2 (optional) TUCSON		AZ
City		85750	City		85743
Country		State or Province	Country		State or Province
UNITED STATES					
Name			Name		
Address 1			Address 1		
Address 2 (optional)			Address 2 (optional)		
City		State or Province	City		State or Province
Country		Zip	Country		Zip

DO NOT WRITE ABOVE THIS LINE; RESERVED FOR ACC USE ONLY.

STATUTORY AGENT ACCEPTANCE

Please read Instructions M002i

1. **ENTITY NAME** – give the exact name in Arizona of the corporation or LLC that has appointed the Statutory Agent:

BORDERLAND INVESTMENTS I, L.L.C.

2. **A.C.C. FILE NUMBER** (if entity is already incorporated or registered in AZ): _____
Find the A.C.C. file number on the upper corner of filed documents OR on our website at: <http://www.azcc.gov/Divisions/Corporations>

3. **STATUTORY AGENT NAME** – give the exact name of the Statutory Agent appointed by the entity listed in number 1 above (this will be *either* an individual or an entity):

C. J. PRETTYMAN, JR.

- 3.1 **Check one box:** The statutory agent is an **Individual** (natural person).
 The statutory agent is an **Entity**.

STATUTORY AGENT SIGNATURE:

By the signature appearing below, the individual or entity named in number 3 above accepts the appointment as statutory agent for the entity named in number 1 above, and acknowledges that the appointment is effective until the entity replaces the statutory agent or the statutory agent resigns, whichever occurs first.

By checking the box marked "I accept" below, I acknowledge *under penalty of perjury* that this document together with any attachments is submitted in compliance with Arizona law.

I ACCEPT


Signature

C. J. PRETTYMAN, Jr.
Printed Name

12/21/2012
Date

REQUIRED – check only one:

<input checked="" type="checkbox"/> Individual as statutory agent: I am signing on behalf of myself as the individual	<input type="checkbox"/> Entity as statutory agent: I am signing on behalf of the entity named as statutory agent, and I am authorized to act for that entity.
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Filing Fee: none (regular processing) Expedited processing – add \$35.00 to filing fee. All fees are nonrefundable - see Instructions.	Mail: Arizona Corporation Commission - Corporate Filings Section 1300 W. Washington St., Phoenix, Arizona 85007 Fax: 602-542-4100
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All documents filed with the Arizona Corporation Commission are **public record** and are open for public inspection.
If you have questions after reading the Instructions, please call 602-542-3026 or (within Arizona only) 800-345-5819.



SBA TOWERS VI, LLC
 5900 BROKEN SOUND PKWY NW
 BOCA RATON, FL 33487
 PHONE: 1-800-487-7483

SITE NUMBER: TBD
SITE NAME: TUC AMULET

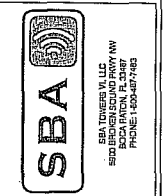
E911 ADDRESS: 4201 S. CAMINO DEL SOL GREEN VALLEY, AZ 85622

PROPOSED 58' MONOPALM TOWER
 WITH COMMUNICATION EQUIPMENT

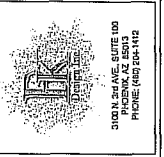
VERIZON WIRELESS PERSONAL COMMUNICATION LP

d/b/a VERIZON WIRELESS

LOCATION NUMBER: *****
 SITE NAME: TUC AMULET



SBA TOWERS VI, LLC
 5900 BROKEN SOUND PKWY NW
 BOCA RATON, FL 33487
 PHONE: 1-800-487-7483



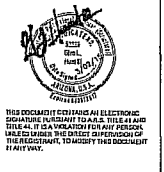
3101 N. 25th AVE. SUITE 100
 PHOENIX, AZ 85013
 PHONE: 1-800-847-1412

DATE	REVISED	REVISION	BY

SHEET INDEX

SHEET	DESCRIPTION	REVISION
T-1	TITLE SHEET	-
LP	LOCATION PLAN	-
C-1	SITE PLAN	-
C-2	NOT USED	-
C-3	SITE DETAILS & SPECIFICATIONS	-
C-3A	SITE DETAILS - N/U	-
C-4	PROJECT DETAILS	-
C-5	NOT USED	-
C-6	EQUIPMENT ENCLOSURE FOUNDATION PLAN	-
ANT-1	SITE ELEVATION	-
ANT-2	ANTENNA INFORMATION	-
ANT-3	ANTENNA MOUNTING DETAILS	-
ANT-4	ANTENNA MOUNTING DETAILS	-
B-1	NOT USED	-
B-2	NOT USED	-
E-1	UTILITY ROUTING PLAN	-
E-1A	ENLARGED UTILITY ROUTING PLAN	-
E-2	SITE GROUNDING PLAN	-
E-3	UTILITY DETAILS	-
E-4	SINGLE LINE DIAGRAM & PANEL SCHEDULE	-
E-5	ELECTRICAL AND GROUNDING DETAILS	-
E-6	ELECTRICAL AND GROUNDING DETAILS	-
E-7	LESSEE GROUNDING DETAILS	-
N-1	GENERAL NOTES	-
SURVEY ATTACHMENTS		
LS-1	SITE SURVEY	-
LS-2	SITE SURVEY	-

SITE#: TBD
SBA#: TBD
AMULET
 4201 S. CAMINO DEL SOL
 GREEN VALLEY, AZ 85622

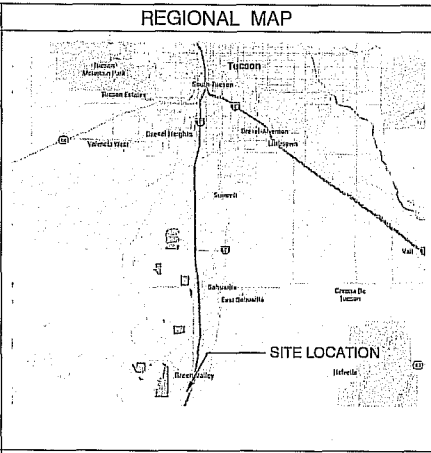
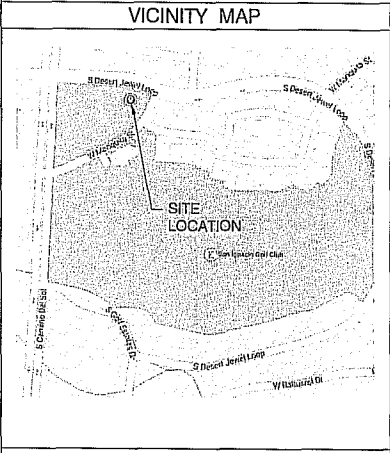


DRAWN BY:	JD
CHECKED BY:	BT
DATE:	11/18/15
PROJECT #:	14524

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

NOTE: UTILITY COORDINATION IS NOT FINALIZED.
 DO NOT PROCEED WITH CONSTRUCTION UNTIL
 POWER / TELCO / FIBER HAVE BEEN CONFIRMED.



PROJECT INFORMATION

SITE NUMBER: TBD
 SITE NAME: AMULET
 SITE ADDRESS: 4201 S. CAMINO DEL SOL, GREEN VALLEY, AZ 85622
 COUNTY: PIMA COUNTY
 LANDOWNER: BORDERLAND INVESTMENTS, LLC
 400 E. 38TH ST
 TUCSON, AZ 85713
 CONTACT: C.J. PRETTYMAN
 PHONE: (520) 623 - 0900
 APPLICANT: SBA TOWERS VI, LLC
 5900 BROKEN SOUND PKWY NW
 BOCA RATON, FL 33487
 CONTACT PERSON: CONTACT: TOM GRIFFITH
 (528) 300-2944
 LATITUDE: -
 LONGITUDE: -
 GROUND ELEVATION: -
 LAT/LONG TYPE: DEGREES MINUTES AND SECONDS
 CURRENT ZONING: CB-2
 PARCEL No: 304-28-091N
 PROPERTY SIZE: 20.12 A
 LEASE AREA SIZE: 836 S.F.

DRIVING DIRECTIONS

FROM PHOENIX - GET ONTO I-10 E TOWARD TUCSON. CONTINUE TO EXIT 250 TO MERGE ONTO I-19 S TOWARD NOGALES. IN 26.6 MILES TAKE EXIT 56 TOWARD CANOA ROAD. KEEP RIGHT AT THE FORK, FOLLOW SIGNS FOR WEST FRONTAGE ROAD N AND MERGE ONTO I-19 FRONTAGE RD. TURN LEFT ONTO W CALLE TRES. TAKE THE 2ND RIGHT ONTO S CAMINO DEL SOL. SITE IS ON THE LEFT.

SPECIAL NOTES

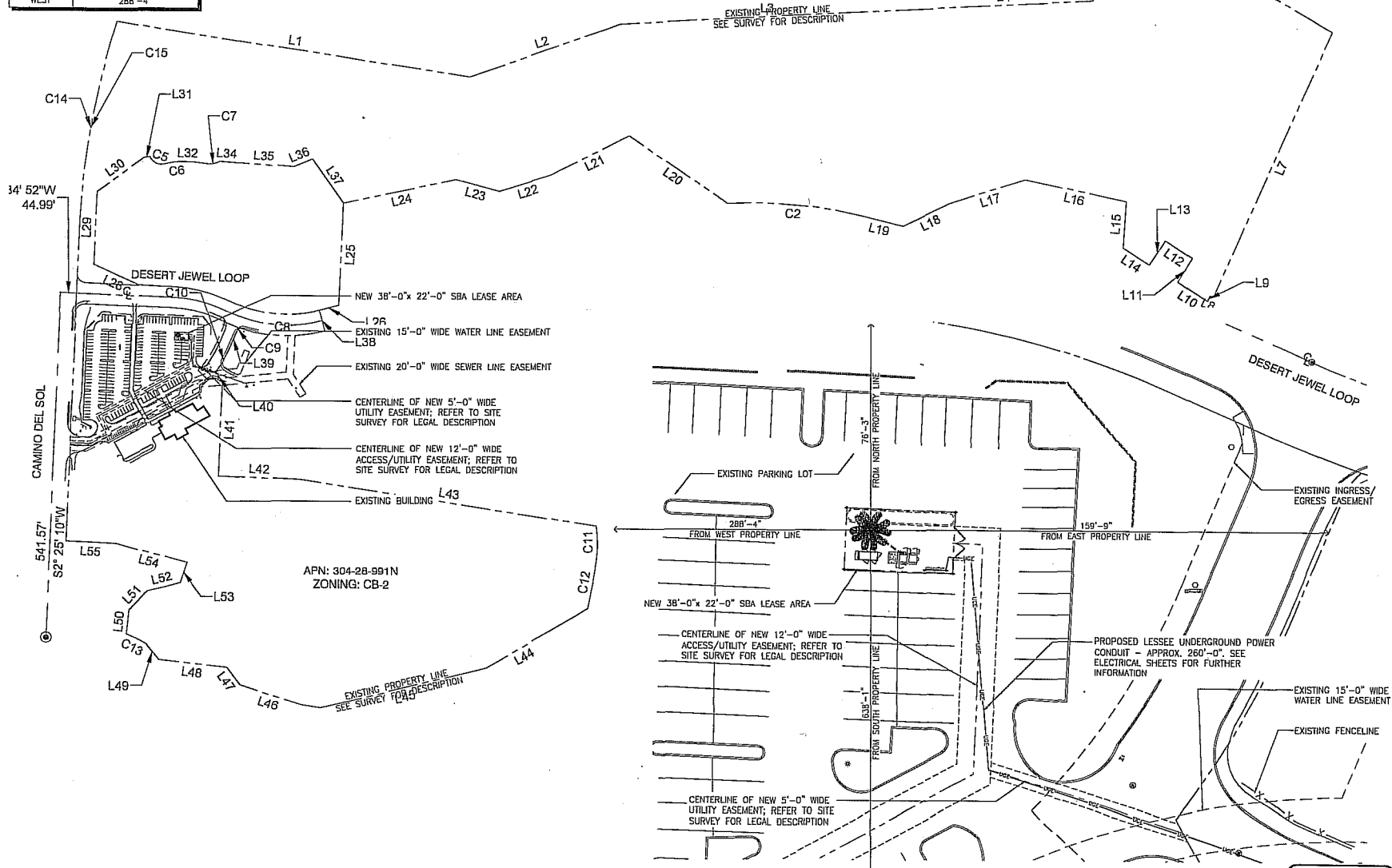
HANDICAPPED REQUIREMENTS:
 FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
 HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED

PLUMBING REQUIREMENTS:
 FACILITY HAS NO PLUMBING

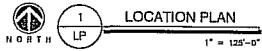


Enter Area 911 at least 100 ft before you begin excavation
 Call 911 or click Arizona911.com

MONOPALM SETBACK TO NEAREST PROPERTY LINE	
DIRECTION	DISTANCE
NORTH	76'-3"
SOUTH	638'-1"
EAST	159'-9"
WEST	288'-4"



APN: 304-28-991N
ZONING: CB-2



Contract Arizona All in One License
Working days before your legal association
ARIZONASH
Call 611 or click Arizona611.com



SBA OFFICE IN AZ
800 W. BROADWAY
BOCA RATON, FL 33487
PHONE: (561) 997-7465



DATE	BY	DESCRIPTION

SITE#: TBD
SBA#: TBD
AMULET

4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622

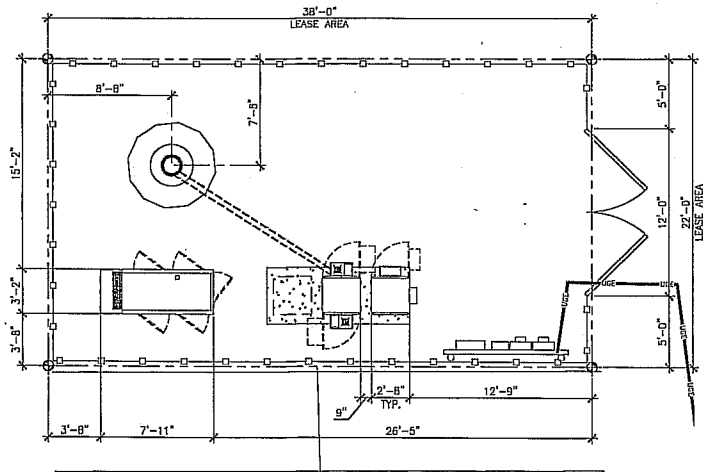


THIS DOCUMENT CONTAINS AN ELECTRICAL SPECIFICATION AND IS TO BE USED IN CONJUNCTION WITH THE MECHANICAL AND PLUMBING SPECIFICATIONS FOR ANY PERSONAL PROJECTS. THE USER ASSUMES ALL LIABILITY FOR THE CORRECTNESS OF THE INFORMATION, TO MODIFY THIS DOCUMENT IN ANY WAY.

DRAWN BY:	
CHECKED BY:	
DATE:	11/19/16
PROJECT #:	14024

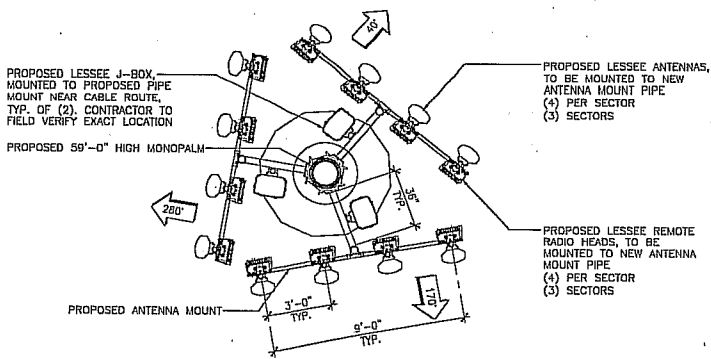
SHEET TITLE
LOCATION PLAN

SHEET NUMBER
LP

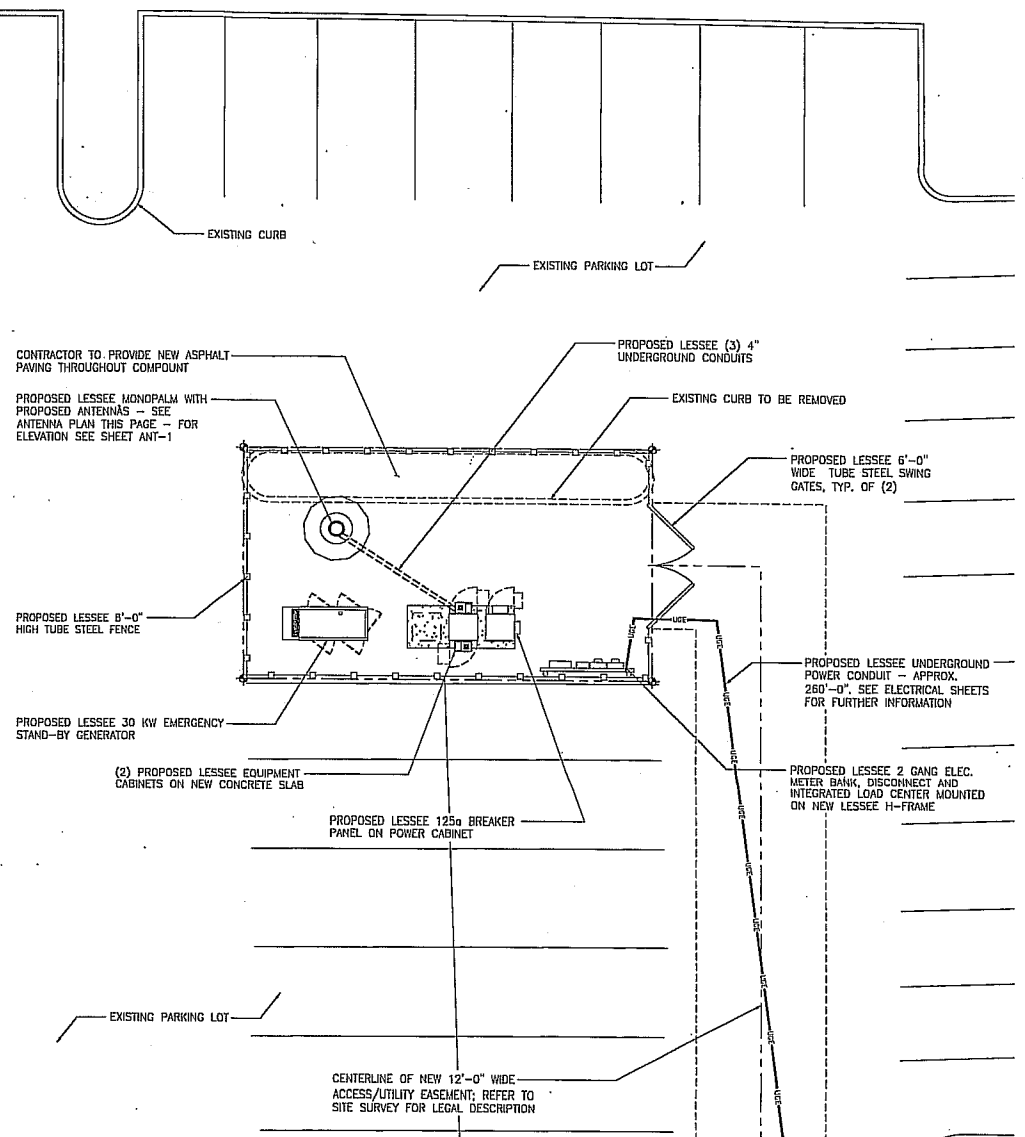


2 SITE DIMENSION PLAN
1/4" = 1'-0"

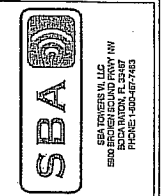
NOTE: PALM FRONDS HIDDEN FOR CLARITY



3 ENLARGED ANTENNA PLAN
3/8" = 1'-0"

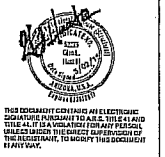


1 SITE PLAN
SCALE: 3/16" = 1'-0"



REVISIONS		DATE	DESCRIPTION	BY	CHKD
1	REVISED FOR MOUNTING				
2	REVISED FOR MOUNTING				
3	REVISED FOR MOUNTING				
4	REVISED FOR MOUNTING				

SITE#: TBD
SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622



DRAWN BY: KD
CHECKED BY: BK
DATE: 11/11/10
PROJECT #: 14251

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-1

GENERAL NOTES AND CONDITIONS

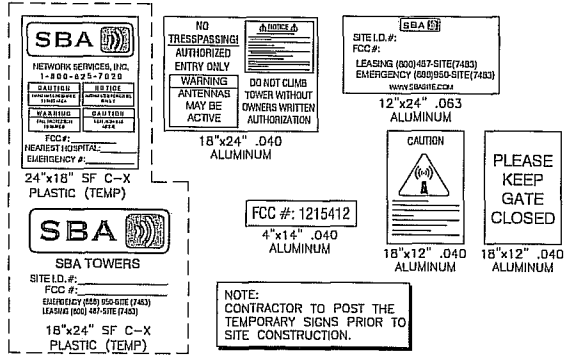
- ALL EARTHWORK, GRADING AND PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STATE DEPARTMENT OF TRANSPORTATION STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP CAREFUL MEASUREMENTS AND RECORDS OF ALL CONSTRUCTION AND SHALL FURNISH THE ENGINEER AND THE MUNICIPALITY WITH RECORD DRAWINGS UPON COMPLETION OF HIS WORK. ONE SET OF MAP-REPRODUCIBLE RECORD DRAWINGS AND COPIES MUST BE FURNISHED TO THE OWNER BY THE CONTRACTOR.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
- ALL DIRT WILL BE DISPOSED OF OFFSITE BY THE CONTRACTOR.
- ALL STRUCTURES, INLETS, PIPES, SHALES AND ROADS MUST BE KEPT CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.
- THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE SURVEYOR AND ALL AGENTS AND ADVISORS OF THOSE PARTIES, FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
- WORK MUST COMMENCE AND BE COMPLETED BY THE TIME INDICATED IN THE PROJECT SPECIFICATIONS.
- EXISTING UTILITIES, IF ANY, ARE SHOWN AS A GUIDE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATING ANYWHERE ON THE SITE.
- ALL ADVERTISE, IF ANY, MUST BE ACKNOWLEDGED WITH THE BID.

EARTHWORK, GRADING, AND PAVING

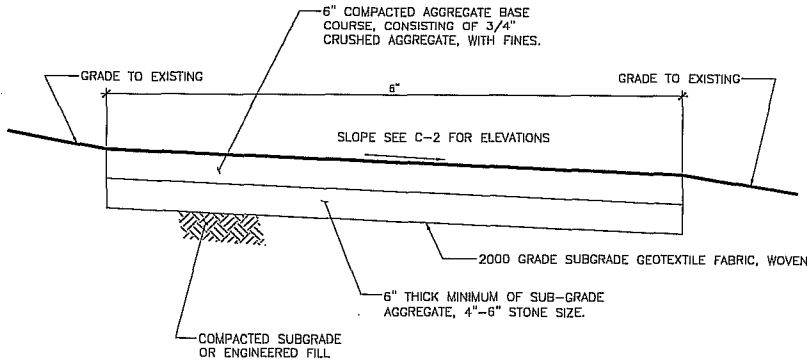
- ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
- THE SUBGRADE SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PER CENT OF LIQUID PROCTOR DENSITY.
- THE QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
- THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
- THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, THE PAVEMENT BASE, UNDER AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
- UPON COMPLETION OF THE PAVING, THE CONTRACTOR WILL DISBURSE THAT POSITIVE DRAINAGE EXISTS ADJACENT TO ALL CONSTRUCTED IMPROVEMENTS.

SOIL EROSION AND SEDIMENT CONTROL

- REASONABLE CARE MUST BE TAKEN TO MINIMIZE SOIL EROSION. REFER TO PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL PREPARED BY THE U.S. SOIL AND CONSERVATION SERVICE.
- ALL INLETS, STRUCTURES, PIPES, SHALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SOIL.
- STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE TO CONTROL SILT IF HEAVED. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN NINE MONTHS, IT MUST HAVE SUFFICIENT VEGETATION TO CONTROL BOTH WATER AND WIND EROSION.
- STRAW BALES FIRMLY ANCHORED SHALL BE PLACED AROUND ALL INLETS, CATCHBASINS, AND SHALES THAT RECEIVE SILTY RUNOFF DURING THE COURSE OF CONSTRUCTION.
- SILT FENCE TO BE CONSTRUCTED ALONG THE DOWN SLOPE OF THE CONSTRUCTION AREA.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT.
- REPLACE SOIL EROSION CONTROL DEVICES WITH SOIL AND TOPSOIL AT THE COMPLETION OF THE PROJECT.
- ALL ADJACENT ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
- ADDITIONAL SOIL EROSION CONTROL MEASURES SHALL BE UNDERTAKEN IF DEEMED NECESSARY BY THE ENGINEERING INSPECTOR DURING THE COURSE OF CONSTRUCTION.

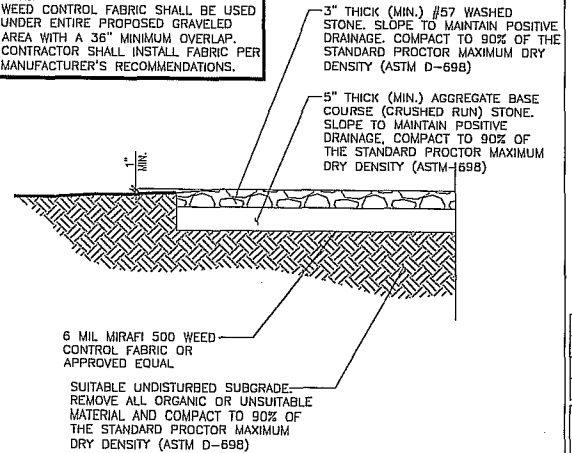


1 SIGN DETAIL
C-3 N.T.S.



2 AGGREGATE ROAD SECTION
C-3 N.T.S.

NOTE: WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELED AREA WITH A 36" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MANUFACTURER'S RECOMMENDATIONS.



3 COMPOUND FINISH DETAIL
C-3 N.T.S.



DATE	REVISIONS	DESCRIPTION	BY	CHKD
	1	DESIGN FOR REVIEW		
	2	CLIENT COMMENTS		
	3	REVISED PERMITS		
	4	CLIENT COMMENTS		

SITE#: TBD
SBA#: TBD
AMULET

4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622



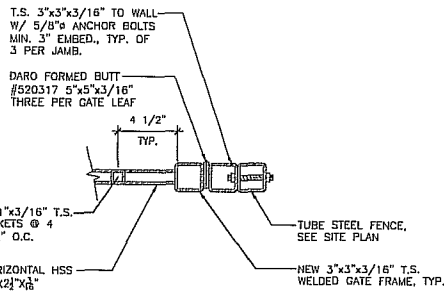
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DRAWN BY: JG
CHECKED BY: BK
DATE: 11/16/15
PROJECT #: 1454

SHEET TITLE
SITE DETAILS
& SPECIFICATIONS

SHEET NUMBER

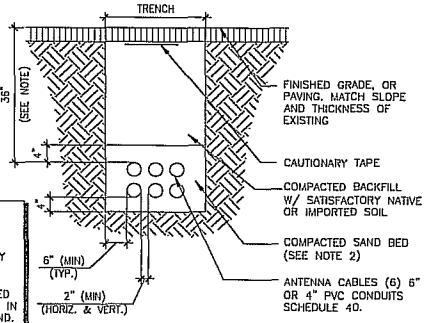
C-3



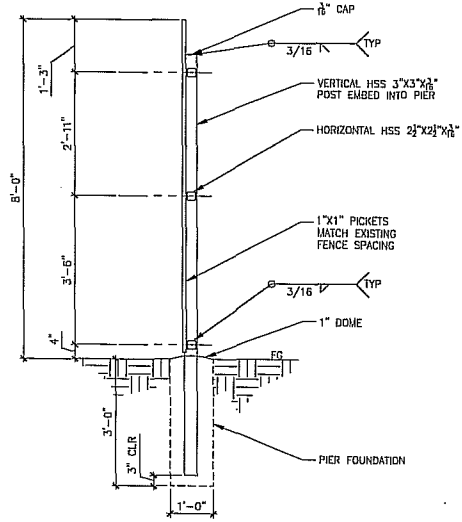
3 GATE JAMB DETAIL
C-4 N.T.S.

CABLE SIZE	MINIMUM BEND RADIUS IN 4" OR 6" CONDUIT
1/2"	10"
7/8"	18"
1 1/4"	22"
1 5/8"	28"

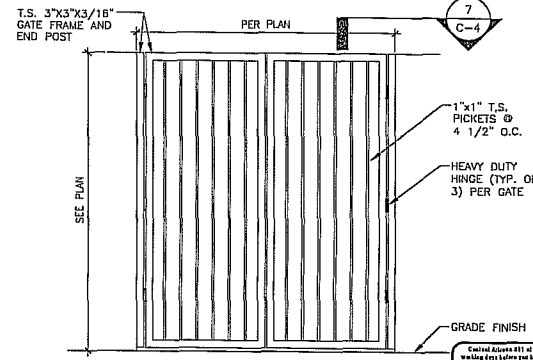
NOTE:
1. PROVIDE PROPER BENDING RADIUS FOR CONDUITS AS REQUIRED BY THE COAXIAL CABLE MFR.
2. LEAN CONCRETE W/ RED TINTED TOP MAY BE USED IN PLACE OF COMPACTED SAND.



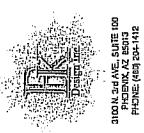
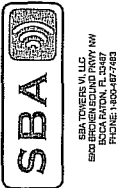
4 U.G. CONDUIT DETAIL
C-4 N.T.S.



1 TUBE STEEL FENCE DETAIL
C-4 N.T.S.



2 SWING GATE DETAIL
C-4 N.T.S.



REVISIONS	
DATE	DESCRIPTION
12/16/15	DESIGN FOR INDUSTRY
02/16/16	CLIENT COMMENTS
04/22/16	REVISED PER IAS
04/22/16	CLIENT COMMENTS

SITE#: TBD
SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622



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DRAWN BY:	JK
CHECKED BY:	BK
DATE:	11/16/15
PROJECT #:	14824

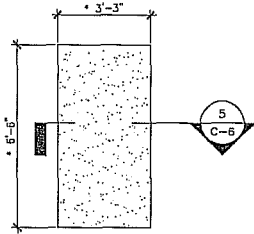
SHEET TITLE
FENCE DETAILS

SHEET NUMBER
C-4

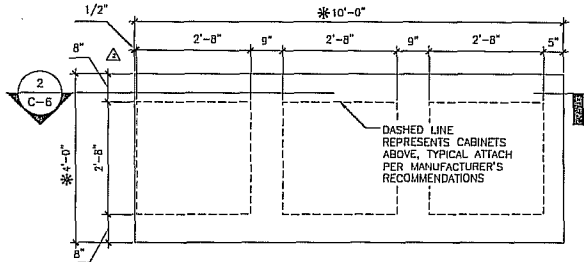
NOTE:
CONTRACTOR TO VERIFY
DIMENSIONS WITH GENERATOR
MANUFACTURER.

NOTE:
FINISH SLAB ELEVATION TO
BE 4" ABOVE HIGHEST
ADJACENT EXISTING GRADE.

NOTE:
ATTACH GENERATOR PER
MANUFACTURER'S
RECOMMENDATIONS.



4
C-6 GENERATOR FOUNDATION PLAN
1/2" = 1'-0"



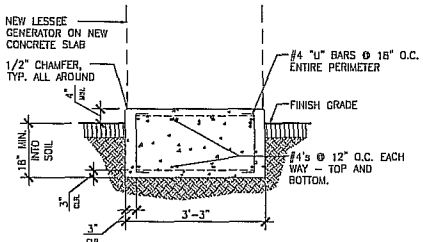
NOTE:
CONTRACTOR TO VERIFY
DIMENSIONS WITH CABINET
MANUFACTURER.

NOTE:
FINISH SLAB ELEVATION TO
BE 4" ABOVE HIGHEST
ADJACENT EXISTING GRADE.

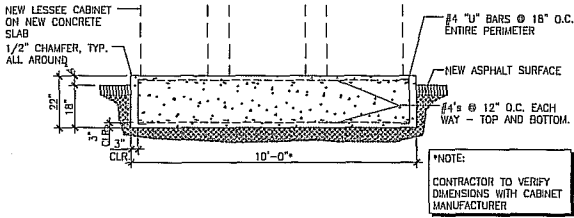
NOTE:
ATTACH CABINET PER
MANUFACTURER'S
RECOMMENDATIONS.

1
C-6 CABINET FOUNDATION PLAN
3/4" = 1'-0"

NOTE:
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE
ENCOUNTERED AT THE NEW BEARING ELEVATION.
THE SOILS MAY REQUIRE COMPACTION USING A PLATE
COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS
INDICATE LOOSE GRANULAR SOILS. THE SOILS MAY
REQUIRE REMOVAL AND REPLACEMENT WITH AN
APPROVED ENGINEERED FILL. FOUNDATION DEPTH AND
OVER DIG REQUIREMENTS SHALL BE VERIFIED WITH THE
RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND
INCLUDED IN THE BID BEFORE CONSTRUCTION. THE
EVALUATION OF THE SUB GRADE AND SELECTION OF FILL
MATERIALS SHALL BE MONITORED AND TESTED BY A
QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.



5
C-6 GENERATOR SLAB DETAIL
3/4" = 1'-0"



2
C-6 CABINET SLAB DETAIL
1/2" = 1'-0"

A. EQUIPMENT ENCLOSURE FOUNDATION

- REFER TO CIVIL DRAWINGS FOR ORIENTATION OF THE FOUNDATIONS.
- EQUIPMENT ENCLOSURE FOUNDATION IS DESIGNED FOR THE FOLLOWING LOADS:
ENCLOSURE DEAD LOAD: 70,000 LBS.
ROOF LIVE LOAD: 00 PSF
FLOOR LIVE LOAD: 150 PSF
- THE CONTRACTOR SHALL NOTIFY THE CLIENT'S GEOTECHNICAL ENGINEER TO COORDINATE
HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.
- FOOTINGS SHALL BEAR ON VIRGIN SOIL OR COMPACTED FILL MATERIAL CAPABLE OF
SUPPORTING A MINIMUM SOIL BEARING PRESSURE OF 2,500 PSF.
- SUBGRADE PREPARATION:
A. REMOVE ALL SOILS CONTAINING TOPSOIL, ORGANIC MATERIALS, AND/OR FILL MATERIALS FROM
WITHIN AREA OF ENCLOSURE FOUNDATION.
B. PROOF ROLL RESULTING SUBGRADE WITH A HEAVILY LOADED SINGLE AXLE ROLLER OR SIMILAR
VEHICLE (20 TON LOAD), CONTRACTOR SHALL UNDERCUT AND REPLACE WITH ENGINEERED
FILL. ALL LOOSE SOFT OR UNSTABLE AREAS REVEALED DURING PROOFROLLING AS DIRECTED
BY THE TESTING AGENCY, CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AND
REPLACEMENT AS INDICATED IN THE GEOTECHNICAL REPORT AS PART OF THE BID.
C. BACKFILL AND COMPACT THE AREA WITHIN THE BUILDING FOUNDATION, BETWEEN RESULTANT
SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.
- FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON EACH SIDE OF THE WALL OR WALLS
SHALL BE ADEQUATELY BRACED BY THE CONTRACTOR UNTIL FLOOR SLAB HAS BEEN PLACED
AND CURED FOR 72 HOURS MINIMUM.
- ENCLOSURE SHALL NOT BE SET UNTIL FLOOR SLAB HAS BEEN CURED FOR 72 HOURS MINIMUM.
- CONTRACTOR TO ENSURE FOUNDATION / SLAB ARE POURED TO MEET FLATNESS LEVEL
TOLERANCES AS INDICATED IN ACI 4.5.8 AND 4.5.7.

B. EQUIPMENT ENCLOSURE

THE EQUIPMENT ENCLOSURE IS A PRE-FABRICATED BUILDING MANUFACTURED BY FIBREBOND,
MINNEN, LOUISIANA.
THE EQUIPMENT ENCLOSURE BUILDING SHALL BE FURNISHED AND INSTALLED BY THE OWNER
UNDER SEPARATE CONTRACT PER THE OWNER AND MANUFACTURER SPECIFICATIONS.

C. CONCRETE NOTES

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST
EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH
MINIMUM 28-DAY COMPRESSIVE STRENGTHS OF $f_c = 4000$ PSI, ALL EXTERIOR EXPOSED
CONCRETE SHALL BE AIR ENTRAINED.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL
CONFORM TO ASTM A185.



DATE	BY	REVISION	NO.	DESCRIPTION

SITE#: TBD
SBA#: TBD
AMULET

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GREEN VALLEY, AZ 85622

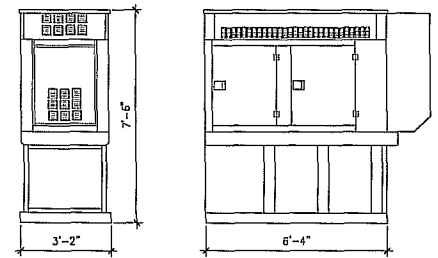


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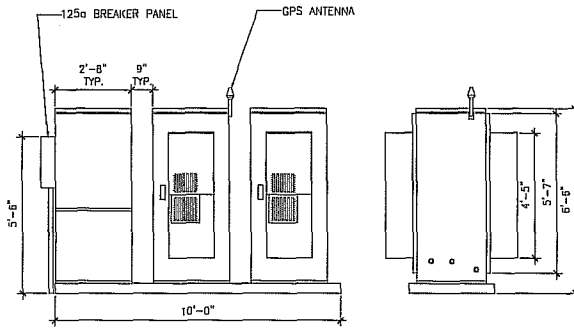
DRAWN BY:	JK
CHECKED BY:	SK
DATE:	11/10/15
PROJECT #:	14834

SHEET TITLE
EQUIPMENT
ENCLOSURE
FOUNDATION PLAN

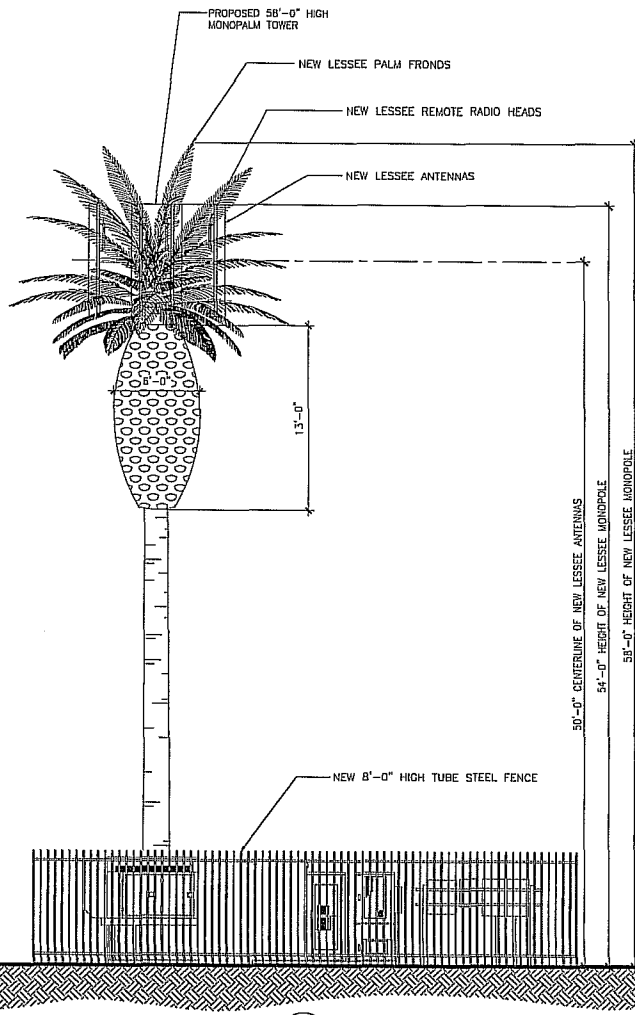
SHEET NUMBER
C-6



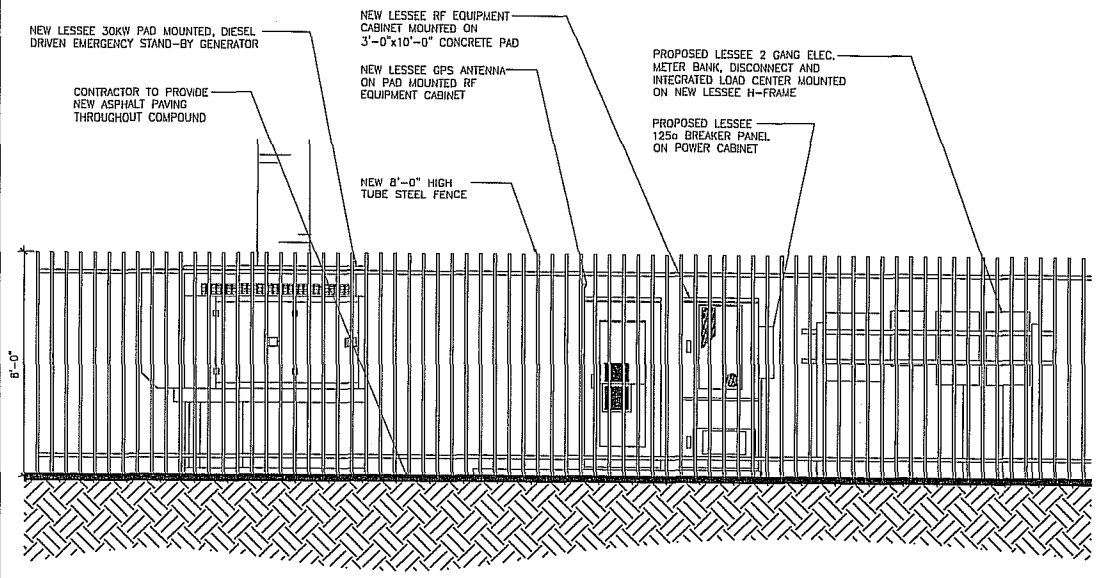
6
C-6 GENERATOR ELEVATION
1/2" = 1'-0"



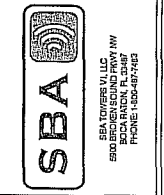
3
C-6 CABINET ELEVATION
1/2" = 1'-0"



1 SOUTH EAST ELEVATION
ANT-1
SCALE: 1/4" = 1'-0"



2 ELEVATION VIEW WITH UTILITY FRAME
ANT-1
SCALE: 3/16" = 1'-0"



NO.	DATE	DESCRIPTION	DESIGNED BY	CHECKED BY	REVIEWED BY	DATE
1.		ISSUED FOR REVIEW				
2.		CLIENT COMMENTS				
3.		REVIEWED PRELIMS				
4.		CLIENT COMMENTS				

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SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622

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CHECKED BY:	BR
DATE:	11/16/15
PROJECT #:	14634

SHEET TITLE
ANTENNA
ELEVATION

SHEET NUMBER
ANT-1



1 PROPOSED ANTENNA CONFIGURATION
ANT-2 N.T.S.

2 COMBINER DATA INFORMATION
ANT-2 N.T.S.

3 CABLE DIAGRAM FOR ALPHA V& BETA SECTORS
ANT-2 N.T.S.



SBA TOWERS V, LLC
6900 BRIDGES SECOND FLOOR NW
DUBLIN, GA 30128
PHONE: 404-487-7285



3100 N. 34th AVE., SUITE 100
PHOENIX, AZ 85018
PHONE: 1480-334-7416

REVISIONS		DATE
NO.	DESCRIPTION	
1.	DESIGN FOR REVIEW	11/19/13
2.	CLIENT COMMENTS	11/19/13
3.	REVISED DESIGN	11/19/13
4.	CLIENT COMMENTS	11/19/13

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SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622



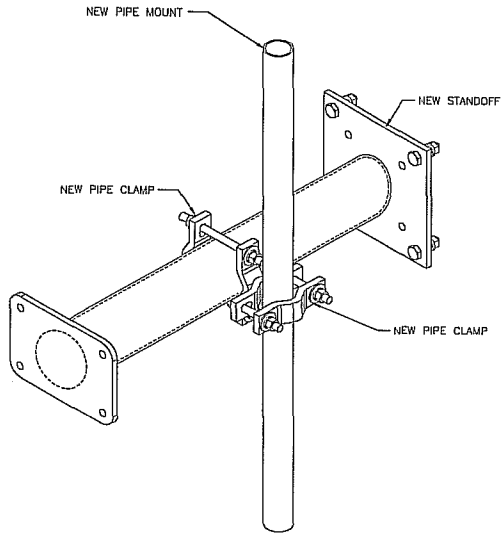
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DRAWN BY: BK
CHECKED BY: BK
DATE: 11/19/13
PROJECT #: 14024

SHEET TITLE
ANTENNA INFORMATION

SHEET NUMBER
ANT-2

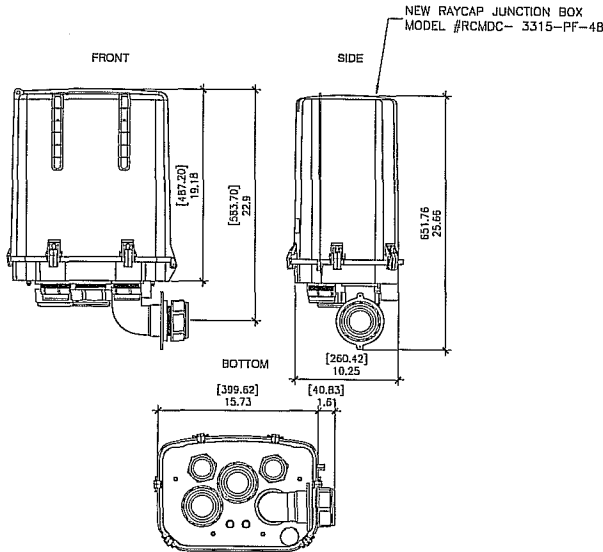




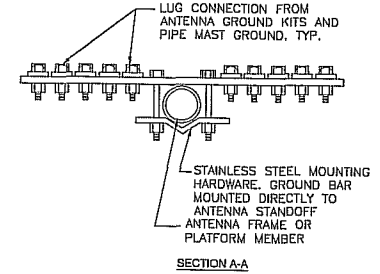
1 ISOMETRIC VIEW TYPICAL J-BOX MOUNTING
N.T.S.
ANT-3

SPECIFICATIONS DC SURGE PROTECTION FOR RRU/INTEGRATED ANTENNA RADIO HEAD
APPLICATION TOWER / BASE / ROOFTOP / ROOFTOP DISTRIBUTION MODELS
WEIGHT: 32LBS(14.51 KG)

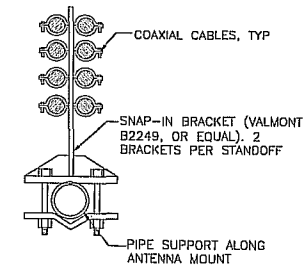
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INCHES



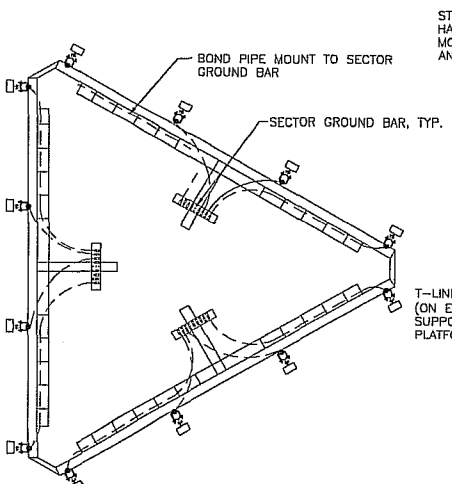
2 RAYCAP JUNCTION BOX DETAIL
N.T.S.
ANT-3



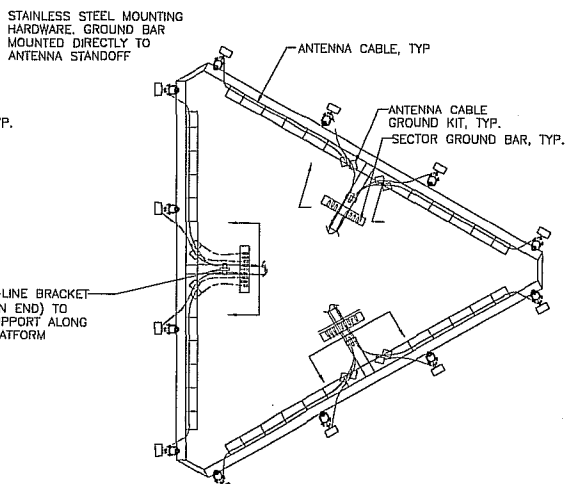
3 GROUND BAR AT SECTOR
N.T.S.
ANT-3



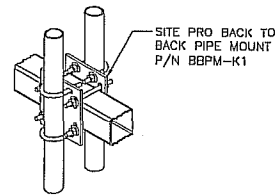
4 SNAP-IN BRACKET AT ANTENNA MOUNT
N.T.S.
ANT-3



5 PIPE MAST GROUNDING AT ANTENNA ELEVATION
N.T.S.
ANT-3



6 ANTENNA CABLE GROUNDINGS AT ANTENNA ELEVATION
N.T.S.
ANT-3



7 LED LO-PROFILE PLATFORM DETAIL
N.T.S.
ANT-3

SBA
 SBA TOWERS, INC.
 5105 S. J. AVENUE SUITE 100
 BOCA RATON, FL 33497
 PHONE: 1-800-607-7451

IK
 5105 S. J. AVENUE SUITE 100
 BOCA RATON, FL 33497
 PHONE: 1-800-294-1412

NO.	DATE	DESCRIPTION	DESIGNED BY	CHECKED BY	REVISED BY	CHECKED BY

SITE#: TBD
SBA#: TBD
AMULET

4201 S. CAMINO DEL SOL
 GREEN VALLEY, AZ 85622



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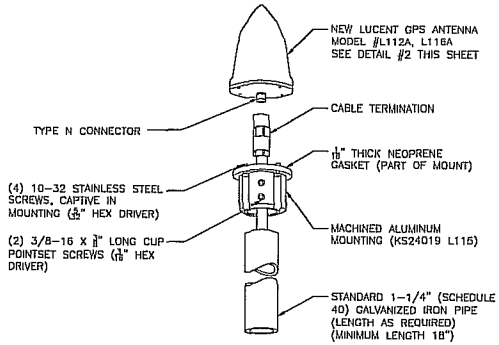
DRAWN BY: JD
 CHECKED BY: BK
 DATE: 11/18/15
 PROJECT #: 14024

SHEET TITLE
ANTENNA MOUNTING DETAILS

SHEET NUMBER
ANT-3

Consult Arizona RTI at least two working days before any single installation.
ARIZONARTI
 Call 811 or click Arizona911.com

NOTE:
INSTALL EACH GPS ON THE
CLOSEST ICE BRIDGE POSTS TO
SHELTER (TYP. AT 2 LOCATIONS).

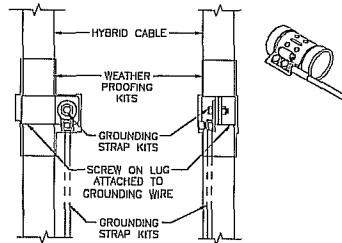


1 TYPICAL GPS DETAIL
ANT-4 N.T.S.

2 NOT USED
ANT-4 N.T.S.

NOTES:

- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
- THIS DETAIL IS TYPICAL FOR EACH COAX CABLE WHERE IT IS SPECIFIED TO BE GROUNDED.
- CABLE TO BE GROUNDED AT ANTENNA LEVEL AND PRIOR TO ENTERING SHELTER ENTRY PANEL.
- CABLE ALSO TO BE GROUNDED TO GROUND BAR AT TOWER BASE IF APPLICABLE.
- USE ONLY TIN PLATED GROUNING KITS.



5 COAX/HYBRID GROUND KIT DETAIL
ANT-4 N.T.S.

4 NOT USED
ANT-4 N.T.S.

3 NOT USED
ANT-4 N.T.S.

Contract Expires 01/14/2015
Working Anytime After the Single Installation
TSR
ARIZONA
Call 811 or click Arizona11.com



SBA UNIVERSITY, LLC
8000 BUCKLE UP DRIVE
BOCA RATON, FL 33487
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TRK
3100A S.W. 116, SUITE 100
PACONIA, AZ 85015
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REVISIONS		DATE	BY	REASON	APPROVED
1	ISSUED FOR REVIEW				
2	CLIENT COMMENTS				
3	DESIGN CHANGES				
4	CLIENT COMMENTS				

SITE#: TBD
SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622



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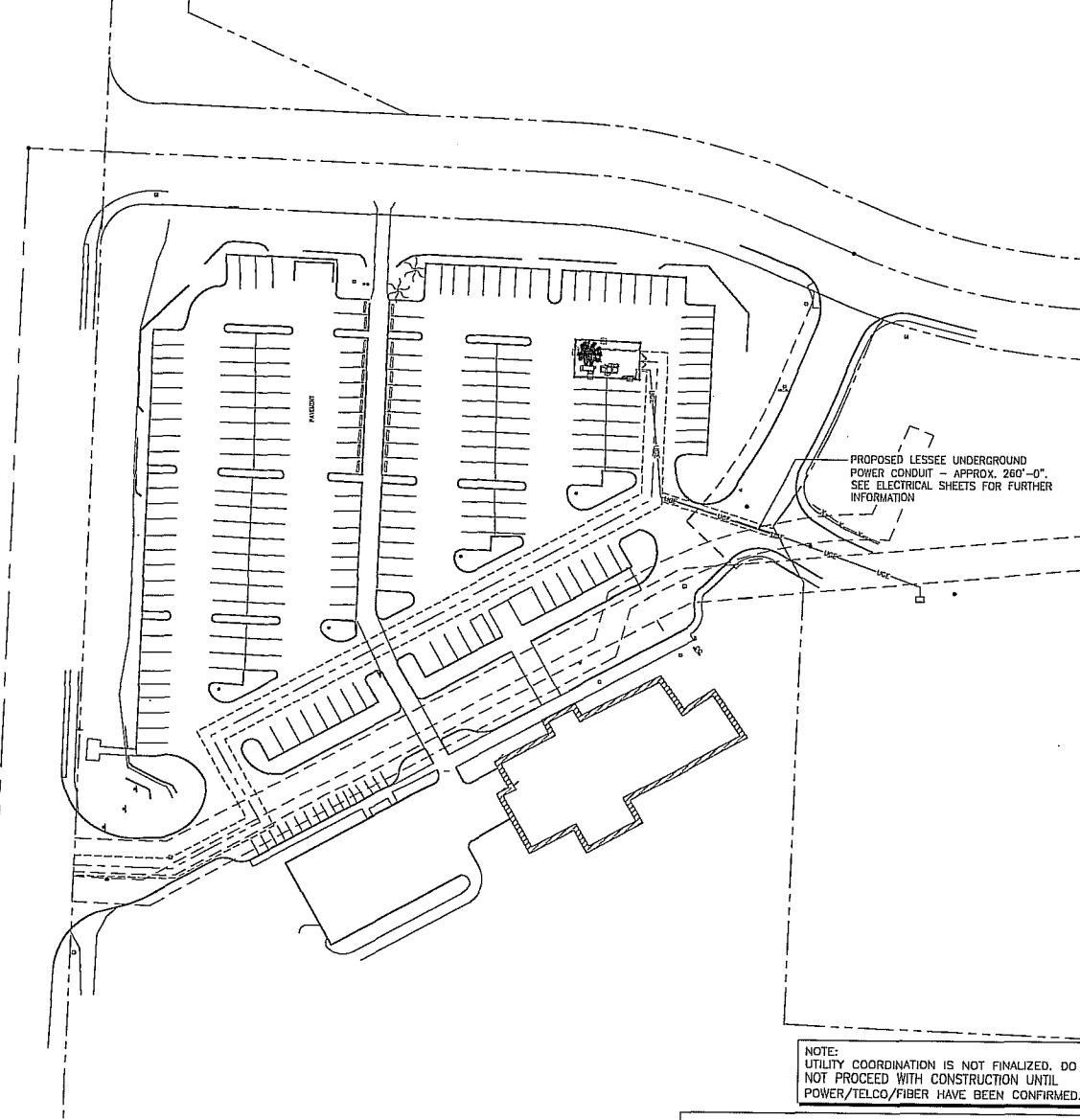
DRAWN BY:	KS
CHECKED BY:	UK
DATE:	11/01/15
PROJECT #:	14634

SHEET TITLE
ANTENNA
MOUNTING
DETAILS

SHEET NUMBER
ANT-4

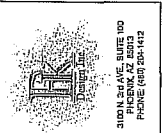
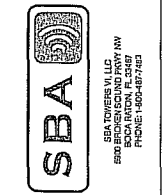
ELECTRICAL NOTES

- ALL WORK IS TO COMPLY WITH THE NATIONAL ELECTRICAL CODE (N.E.C.) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
- ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE UNDER WRITERS LABORATORIES (W.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPE, SPRINKLER SYSTEMS, CONDENS, WIRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO MATCH EXISTING CONDITIONS.
- ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL, BONDING, CIRCUIT, CONTROL, WIRING, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS AND OR AS REQUIRED BY GOVERNING CODES.
- PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB, AND BY REFERENCE TO ARCHITECTURE AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER QUESTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COSTS FOR SUCH IN HIS BID.
- SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY. EQUAL THE INSTALLATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
- ALL WIRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600 VOLTS INSULATION.
- IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN NOTES SHOWN ON THE PLANS AND OR SPECIFICATIONS, THE MOST SPECIFIC AND OR CODE WHICH PRECEDENCE AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL.
- SERVICE CONDUITS SHALL HAVE NO MORE THAN (2) -90° BENDS IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDITIONS.
- ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITH STAND 100 M.P.H. WIND SPEED AND DESIGNED FOR EXPOSURE C.
- ALL COMM. POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 2" RADIUS SWEEPS TO EQUIPMENT, PULL BOXES, MONOPOLE, ETC. UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.
- FUSE TYPE SHALL BE BUSSMAN RMK LOW PEAK FUSE (LPU-RK-100).
- UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE OWNER.
- CONTRACTOR TO PROVIDE CUTTER TAP(S) AS REQUIRED.
- GENERAL GROUNDING CRITERIA (FOR TENANT IMPROVEMENTS): 1ST STEP: GROUND TO EXISTING BUILDING STRUCTURAL STEEL AND TO THE OUTLET SIDE OF EXISTING WATER METER COLD WATERLINE. THEN TEST GROUNDING RESISTANCE TO WITHIN 1 TO 5 OHMS OVERALL GROUND RESISTANCE. WHERE THE EFFECTIVE RESISTANCE DOES NOT MEET THIS CRITERIA, PROVIDE SUPPLEMENTAL GROUNDING AND RE-TEST UNTIL GROUND RESISTANCE FALLS BELOW THIS LEVEL. SUPPLEMENTAL GROUND MAY CONSIST OF ONE OR MORE OF THE FOLLOWING: 1) COUNTER POSE 2) WEEET GROUND, 3) GROUND ROD AND OR GROUND WELL IN EXTREMELY ADVERSE SOIL CONDITIONS, WHERE THE EXISTING BUILDING STEEL DOES NOT PROVIDE AN EFFECTIVE GROUND RESISTANCE, THEN THE CONTRACTOR SHALL PROVIDE A SEPARATE GROUND CONDUCTOR FROM ROOF MOUNTED ITS EQUIPMENT LOCATIONS EITHER DOWN THROUGH THE ROOF OF THE BUILDING OR DOWN THE OUTSIDE OF THE BUILDING, DEPENDING UPON OWNER PREFERENCE. WHERE THE GROUND CONDUCTOR FROM THE ROOF MOUNTED EQUIPMENT IS REQUIRED IN CONDUIT, THE CONDUIT SHALL BE EFFECTIVELY GROUND TO THE GROUND CONDUCTOR AT BOTH ENDS OF THE CONDUIT. (NONPREFERRED INSTALLATIONS): FOR INSTALLATIONS WHERE WOODEN STRUCTURES, TOWERIS, CONCRETE SLOES ETC. ARE ENCOUNTERED A SEPARATE GROUNDWELLS SHALL BE PROVIDED FROM THE AIRWAYS SEPARATED BY A MINIMUM OF 15" FROM THE CROWN CABLES. THE GROUND CONDUCTOR SHALL BE SECURELY FASTENED TO THE EXTERIOR OF OUTSIDE STRUCTURES WITH NON METALLIC GROUND STRAPS EVERY 10 FEET. APPLIC. AS FOR TENANT IMPROVEMENT PROJECTS, TEST THE GROUND RESISTANCE FOR MONOPOLE INSTALLATIONS AND PROCEED PER THE ABOVE STEPS.
- CONTRACTOR TO COLOR PHASE CONDUCTORS BLACK (BPHASE), RED (APHASE), WHITE (NEUTRAL), AND GREEN (GROUND).
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE LOCAL AND STATE BUILDING CODES.



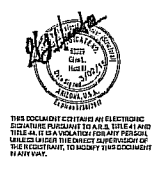
NOTE:
UTILITY COORDINATION IS NOT FINALIZED. DO NOT PROCEED WITH CONSTRUCTION UNTIL POWER/TELCO/FIBER HAVE BEEN CONFIRMED.

UTILITIES: POWER PHONE



DATE	DESCRIPTION
1	ISSUED FOR REVIEW
2	CORRECT COMMENTS
3	REISSUED FOR REVIEW
4	CLIENT COMMENTS

SITE#: TBD
SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85822



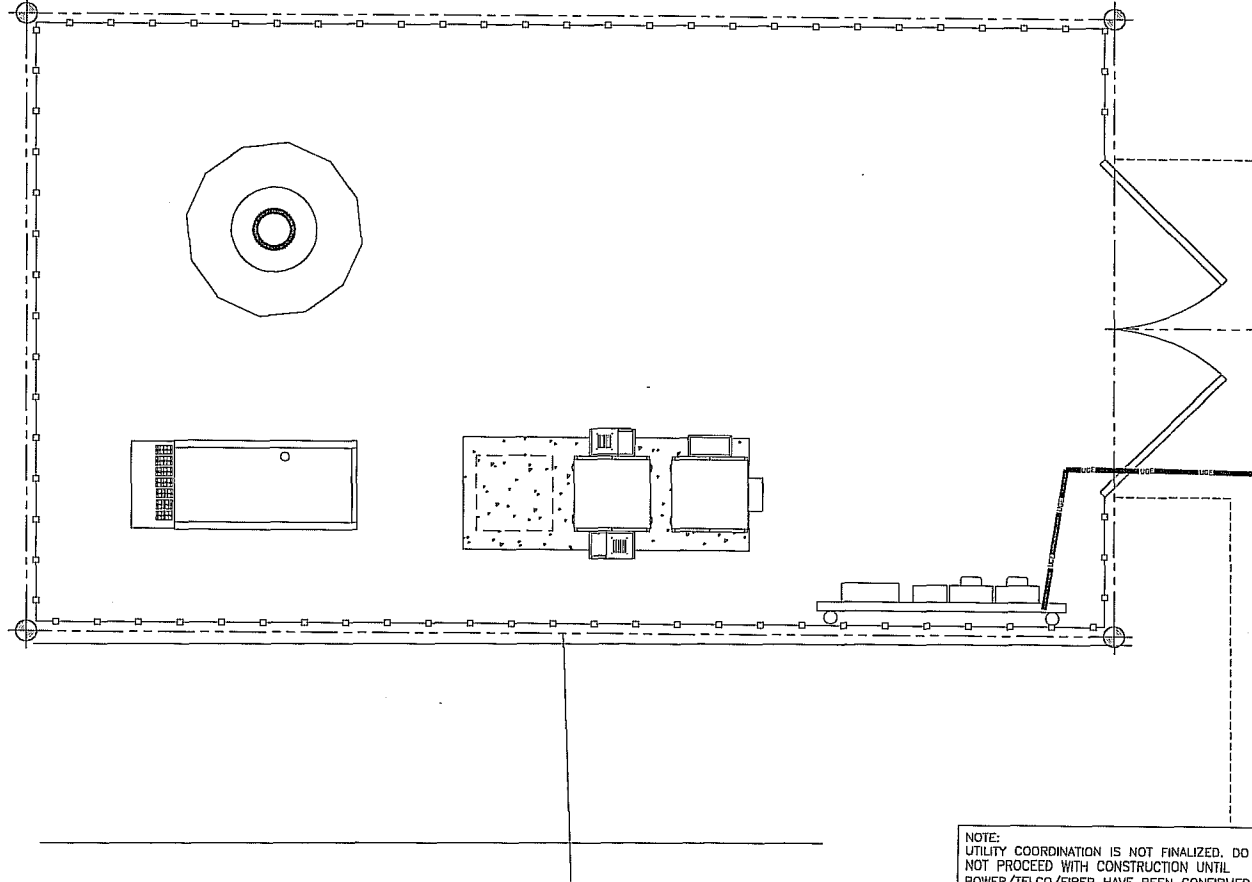
DRAWN BY:	IG
CHECKED BY:	BK
DATE:	11/19/15
PROJECT #:	14624

SHEET TITLE
UTILITY ROUTING PLAN

SHEET NUMBER
E-1

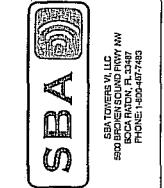
ELECTRICAL NOTES

- ALL WORK IS TO COMPLY WITH THE NATIONAL ELECTRICAL CODE (N.E.C.) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
- ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE UNDER WRITERS LABORATORIES (ULL) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS, WORKS, PAVING, ETC. DAMAGED BY THE ELECTRICAL WORK TO MATCH EXISTING CONDITIONS.
- ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUIT, CONTROL WIRING, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS AND OR AS REQUIRED BY GOVERNING CODES.
- BEFORE INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB, AND BY REFERENCE TO ARCHITECTURE AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COSTS FOR SUCH IN HIS BID.
- SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. THE INSTALLATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
- ALL WIRING SHALL BE COPPER WITH THREE/THIRN GAL. RATED 600 VOLTS INSULATION.
- IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND OR SPECIFICATIONS, THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL.
- SERVICE CONDUITS SHALL HAVE NO MORE THAN (2) - COP BOXES IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDITIONS.
- ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITH STAND 100 M.P.H. WIND SPEED AND DESIGNED FOR EXPOSURE C.
- ALL COAX, POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 24" RADIUS SWEEPS TO EQUIPMENT, PULL BOXES, MONOPOLE, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.
- FUSE TYPE SHALL BE BUSSMAN IRR LOW FLEX FUSE (LPU-RK-100).
- UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE OWNER.
- CONTRACTOR TO PROVIDE OUTER TAP(S) AS REQUIRED.
- GENERAL GROUNDING CRITERIA (FOR TENANT IMPROVEMENTS)- 1ST STEP- GROUND TO EXISTING BUILDING STRUCTURAL STEEL AND TO THE STREET SIDE OF EXISTING WATER METER COLD WATERLINE. THEN TEST GROUNDING RESISTANCE TO WITHIN 1 TO 5 OHMS OVERALL GROUND RESISTANCE. WHERE THIS EFFECTIVE RESISTANCE DOES NOT MEET THIS CRITERIA, PROVIDE SUPPLEMENTAL GROUNDING AND RE-TEST UNTIL GROUND RESISTANCE FALLS BELOW THIS LEVEL. SUPPLEMENTAL GROUND MAY CONSIST OF ONE OR MORE OF THE FOLLOWING: 1) COUNTER POSE 2) WEFER GROUND, 3) GROUND ROD AND OR GROUND WELL. IN EXTREMELY ADVERSE SOIL CONDITIONS, WHERE THE EXISTING BUILDING STEEL DOES NOT PROVIDE AN EFFECTIVE GROUNDING RESISTANCE, THEN THE CONTRACTOR SHALL PROVIDE A SEPARATE GROUND CONDUCTOR FROM ROOF MOUNTED DIS EQUIPMENT LOCATIONS EITHER DOWN THROUGH THE INSIDE OF THE BUILDING OR DOWN THE OUTSIDE OF THE BUILDING, DEPENDING UPON OWNER PREFERENCE. WHERE THE GROUND CONDUCTOR FROM THE ROOF MOUNTED EQUIPMENT IS RUNNED IN CONDUIT, THE CONDUIT SHALL BE EFFECTIVELY GROUND TO THE GROUND CONDUCTOR AT BOTH ENDS OF THE CONDUIT. (MONOPOLE INSTALLATIONS); FOR INSTALLATIONS WHERE WOODEN STRUCTURES, WOODS, CONCRETE SLAB ETC. ARE ENCOUNTERED A SEPARATE DOWNLEAD SHALL BE PROVIDED FROM THE ANTENNA SEPARATED BY A MINIMUM OF 12" FROM THE COAXIAL CABLES. THE GROUND CONDUCTOR SHALL BE SECURELY FASTENED TO THE EXTERIOR OF OUTSIDE STRUCTURES WITH NON METALLIC GROUND STRIPS EVERY 10 FEET. AGAIN, AS FOR TENANT IMPROVEMENT PROJECTS, TEST THE GROUND RESISTANCE FOR MONOPOLE INSTALLATIONS AND PROCEED PER THE ABOVE STEPS.
- CONTRACTOR TO COLOR PHASE CONDUCTORS BLACK (B)PHASE, RED (A)PHASE, WHITE (NEUTRAL), AND GREEN (GROUND).
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE LOCAL AND STATE BUILDING CODES.



NOTE:
UTILITY COORDINATION IS NOT FINALIZED. DO NOT PROCEED WITH CONSTRUCTION UNTIL POWER/TELCO/FIBER HAVE BEEN CONFIRMED.

UTILITIES: POWER PHONE



SBA
800 WASHINGTON AVE
SUITE 200
BOCA RATON, FL 33497
PHONE: 1-800-887-8265



JAMES H. KLINE
3100A S.W. 41st AVE. SUITE 100
BOCA RATON, FL 33433
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REVISIONS		DATE	BY	CHKD
1	REVISIONS			
2	DESIGN FOR REVIEW			
3	CLIENT CHANGE			
4	REVISED PER IFC			
5	CLIENT CHANGE/IFC			

SITE#: TBD
SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622



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DRAWN BY:	KS
CHECKED BY:	SK
DATE:	11/10/15
PROJECT #:	14034

SHEET TITLE
ENLARGED UTILITY ROUTING PLAN

SHEET NUMBER
E-1A

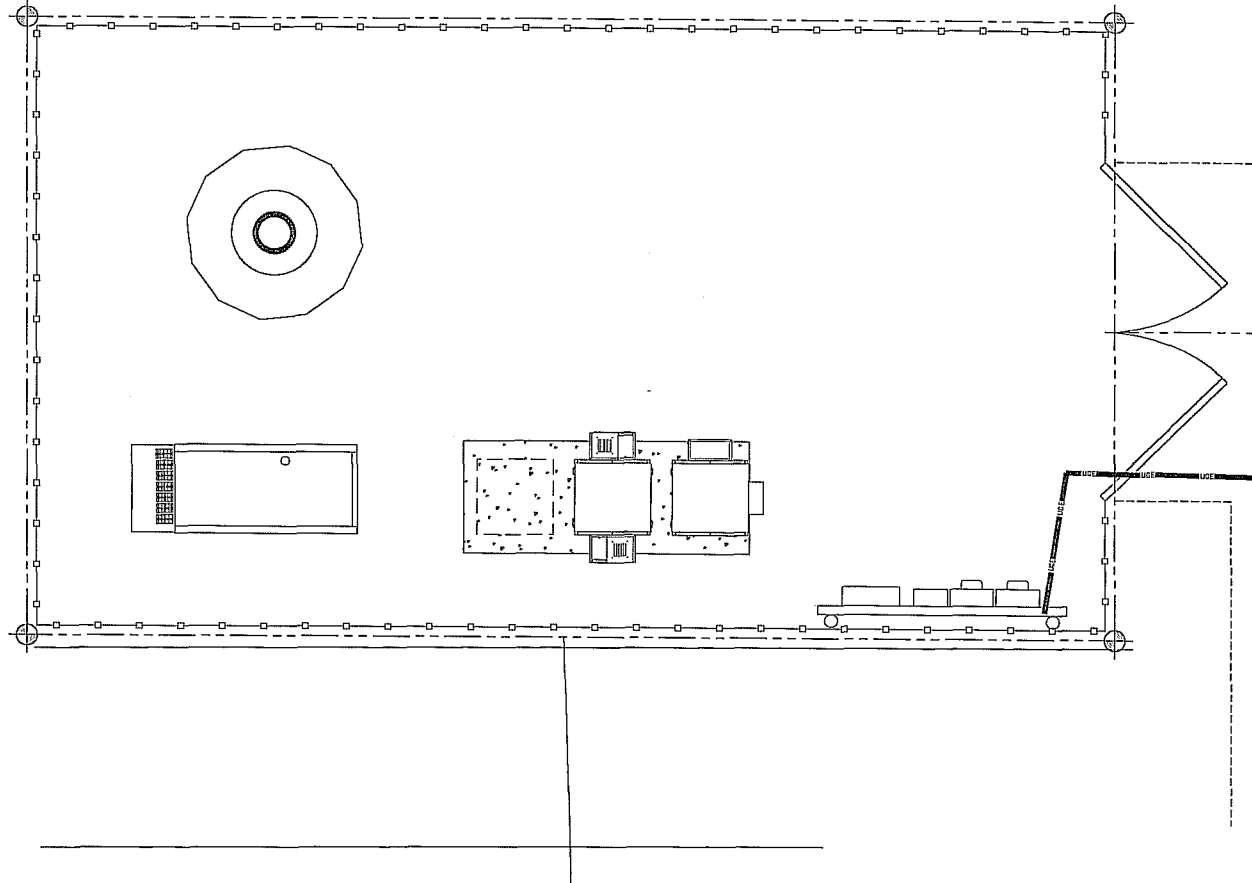
TYPICAL KEYED GROUNDING NOTES

- ▲ #2 AWG THND SOLID BARE COPPER CONDUCTOR 42" BELOW GRADE (TYPICAL) MINIMUM 24" BENDING RADIUS
- ▲ 5/8" X 10' COPPER CLAD GROUND ROD
- ▲ GROUND ALL CORNER POSTS WITH MECHANICAL PIPE CONNECTORS
- ▲ PERIPHERAL GROUND RING SHOULD BE INSTALLED 1'-2' INSIDE THE FENCE LINE, THE TOWER GROUND RING SHOULD BE INSTALLED A MINIMUM TWO FEET OFF OF ANY STRUCTURE.
- ▲ 5/8" 10' LONG COPPERCLAD GROUND ROD WITH INSPECTION WELL, TOP OF GROUND ROD MAX 24" BURY, SEE DETAIL SHEET E-5.
- ▲ INSPECTION WELL #2
- ▲ BOND TOWER TO GROUND SYSTEM WITH CADWELD TYPE VS, 3 LOCATIONS
- ▲ GATE JUMPERS SEE DETAIL ON SHEET E-5
- ▲ PROVIDE AN EXTERNAL #2 TINCOATED GROUND LEAD FROM GROUND RING TO ALL METAL CABINETS ON UTILITY BACKBOARD (TELCO, ELECTRIC, BREAKER PANELS, METER RACKS, JUNCTION BOXES, ETC.) SLEEVED IN CONDUIT FROM JUST BELOW GRADE TO SAND CABINETS USING BURNDY TYPE 2 LONG BARREL LUGS WITH NO-OX OR COPPER SHIELD
- ▲ BOND THE #6 GREEN INSULATED CONDUCTOR FROM METER PANEL AND DISCONNECT TO SEPARATE GROUND ROD
- ▲ BOND THE #6 GREEN INSULATED CONDUCTOR FROM TELCO BOX TO SEPARATE GROUND ROD.
- ▲ ENCLOSURE GROUND (TYP.) IN 1/2" DIAMETER SCHEDULE 40 PVC CONDUIT
- ▲ GROUND EQUIPMENT ENCLOSURE HVAC WITH MECHANICAL CLAMP (SEE DETAIL, SHEET E-7)
- ▲ 24" X 30" X 24" FIBER OPTIC HAND HOLE (SEE DETAIL 9, SHEET E-7)
- ▲ 4" X 12" X 1/4" GROUND BAR INSIDE OF HAND HOLE, O.C. TO DRIVE 10' GROUND ROD & CLAMP TO GROUND BAR (SEE DETAIL 9, SHEET E-7)
- ▲ #2 AWG THND SOLID BARE COPPER CONDUCTOR 42" BELOW GRADE (SEE DETAIL 9, SHEET E-7)
- ▲ MAINTAIN TWO FOOT DISTANCE OFF OF STRUCTURES.
- ▲ GROUND TELEPHONE SERVICE ENTRANCE (SEE DETAIL, SHEET E-7).
- ▲ ELECTRIC METER AND ELECTRIC SERVICE GROUNDING (SEE DETAIL SHEET E-3), COORDINATE ALTERNATE WITH PM
- ▲ GROUND COAXIAL ANTENNA CABLES TO GROUND BAR BY ANTENNA CONTRACTOR TERMINATE CABLES 1'-0" FROM ENCLOSURE AND INSTALL GROUND KITS ON EACH CABLE GROUND.
- ▲ EXOTHERMICALLY WELD COPPER GROUND BAR TAIL TO EXTERIOR HALO GROUND RING (EXOTHERMIC CONNECTION TYPE TA) BY ANTENNA CONTRACTOR. FINAL CONNECTION BY ELECTRICAL CONTRACTOR.
- ▲ 4"x20"x1/4" THND INSULATED COPPER GROUND BAR, NON ISOLATED WITH 10.0' LONG #2 AWG THND SOLID COPPER WIRE WELDED TAILS (HARGER GBIF 14420VW)
- ▲ GROUND CABLE WAYGUIDE BRIDGE (TYP.) BY ELECTRICAL CONTRACTOR.
- ▲ 4"x20"x1/4" THND INSULATED COPPER GROUND BAR, NON-ISOLATED, WITH 10.0' LONG #2 AWG THND SOLID COPPER WIRE WELDED TAILS (HARGER GBIF 14420VW)
- ▲ GROUND ANTENNA CABLES TO GROUND BAR AT ANTENNA ELEVATION OF GROUND BASE GROUND BAR TO GROUND HALO.
- ▲ BOND PROPOSED TOWER GROUND RING TO PROPOSED GROUND RING WITH #2 AWG THND SOLID COPPER CONDUCTOR IN 2 LOCATIONS.
- ▲ TWO #2 LEADS FROM THE EGR TO THE MGB LOCATED IN THE SHELTER. CADWELD AT EGR AND DOUBLE HOLE LUGS IN SHELTER.
- ▲ TIE THE SHELTER EGR TO THE OUTER RING VIA #2 BARE THND COPPER LEADS WITH CADWELD CONNECTIONS.

ELECTRICAL SYMBOLS

- ⎓ SURFACE ELECTRICAL PANELBOARD
- Ⓜ ELECTRIC SERVICE METER
- Ⓣ TRANSFORMER
- E- UNDERGROUND ELECTRICAL CONDUIT RUN
- T- UNDERGROUND TELEPHONE CONDUIT RUN
- SOLID BARE COPPER WIRE #2 AWG THND MIN. 24" BELOW GRADE (HARGER L-2) OR EQUAL, OR AS APPROVED.
- ⊗ 5/8" ϕ X 10'-0" LONG COPPER CLAD GROUND ROD
- ⊙ GROUND BAR WITH INSPECTION WELL
- EXOTHERMIC WELD (CADWELD)
- MECHANICAL GROUND CONNECTION

CONTRACTOR RESPONSIBLE FOR VERIFYING UTILITIES PRIOR TO ANY EXCAVATION



ALL CONNECTIONS TO GROUND BAR SHALL BE COATED WITH A NON-OXIDIZING COMPOUND

CONTRACTOR RESPONSIBLE TO RETURN SURFACE TO ORIGINAL OR BETTER CONDITION



SBA DOWNERVILLE BRANCH
500 SOUTH MAIN STREET
DOWNERVILLE, OH 43015
PHONE: (614) 887-7460



DAVID L. SMITH, LICENSE NO. 10000
STATE OF ARIZONA
PHOENIX, AZ 85013
PHONE: (480) 904-1412

REVISIONS	
NO.	DATE
1	11/19/15
2	
3	
4	
5	

SITE#: TBD
SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622

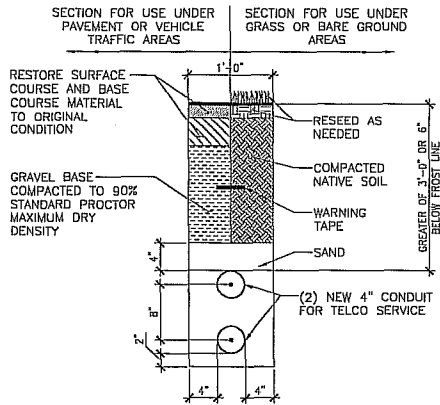


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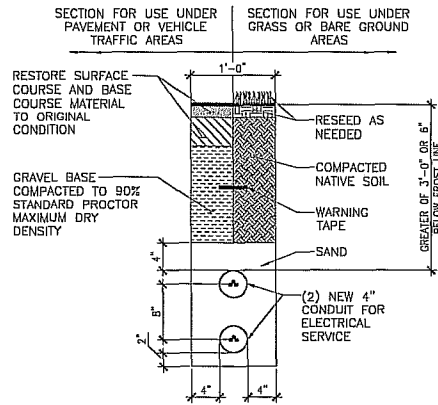
DRAWN BY:	KJ
CHECKED BY:	DK
DATE:	11/19/15
PROJECT #:	14634

SHEET TITLE
SITE GROUNDING PLAN

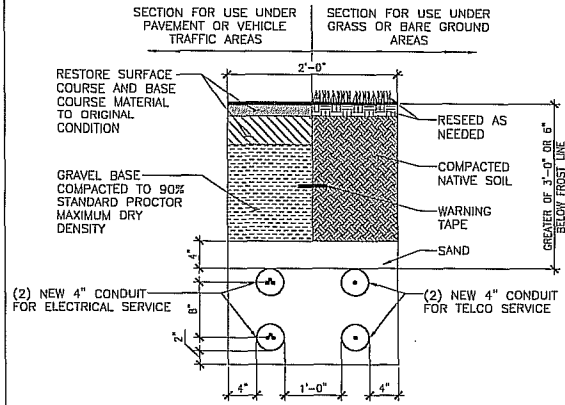
SHEET NUMBER
E-2



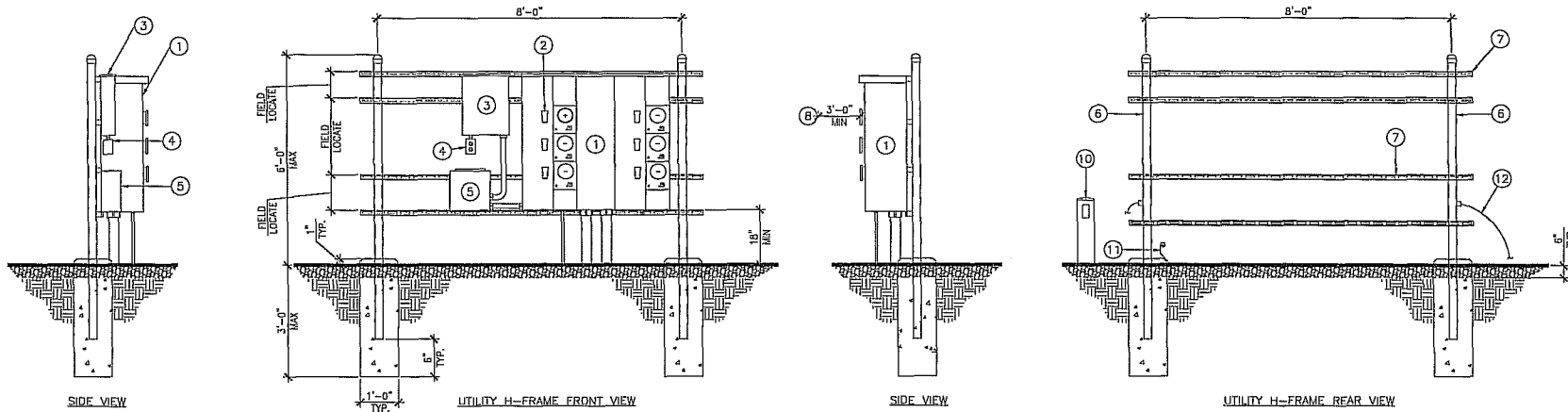
1 TELEPHONE TRENCH DETAIL
E-3
N.T.S.



2 ELECTRICAL TRENCH DETAIL
E-3
N.T.S.



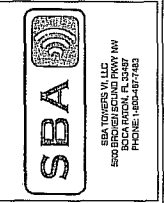
3 JOINT UTILITY TRENCH DETAIL
E-3
N.T.S.



BALLOON REFERENCE NOTES:

- ① 800A 120/240V, 1 PHASE, 3 WIRE, 6 POSITION METERING CENTER (200A MAX CIRCUIT BREAKER) (SQUARE D METER PAK MPR86200, OR EQUAL)
- ② 125A TENANT SERVICE DISCONNECT (SQUARE D CATALOG #Q0M212MVH, OR EQUAL)
- ③ 125A 120/240v 1 PHASE, 3 WIRE, 12 POSITION LOAD CENTER (SQUARE D QO LOAD CENTER #QO112L125GRB, OR APPROVED EQUAL)
- ④ 120/240V 1-GANG COMMERCIAL GRADE OUTDOOR ELECTRICAL BOX W/ 20A COMMERCIAL GRADE DUPLEX RECEPTACLE
- ⑤ 80kA 120/240V, 1 PHASE, 3 WIRE TRANSIENT VOLTAGE SURGE SUPPRESSER (TESSCO #302065, OR APPROVED EQUAL)
- ⑥ 3" NOMINAL GALVANIZED STEEL PIPE WITH PIPE CAP
- ⑦ HORIZONTAL SUPPORT MEMBER (UNISTRUT P1000, OR APPROVED EQUAL)
- ⑧ CONTRACTOR TO MAINTAIN 3'-0" MINIMUM CLEARANCE FROM METERING CENTER TO NEAREST OBSTRUCTION
- ⑨ HOFFMAN BOX FOR TELCO
- ⑩ PROPOSED TELCO PEDESTAL (PROVIDED BY AT&T) LOCATED NEXT TO UTILITY POLE IN R.O.W.
- ⑪ #6/6 GROUND WIRE COILED AT POST. CONNECT TO GROUNDING SYSTEM
- ⑫ #2 AWG BARE SOLID TINNED COPPER WIRE ROUTED TO GROUNDING SYSTEM (TYP. EACH LEG)

4 UTILITY AND H-FRAME DETAIL
E-2
N.T.S.



DATE	REVISION	BY	CHKD

REVISIONS

SITE#: TBD
SBA#: TBD
AMULET

4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622



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DESIGN BY:	SK
CHECKED BY:	SK
DATE:	11/18/15
PROJECT #:	14854

SHEET TITLE
SITE GROUNDING PLAN

SHEET NUMBER
E-3





SBA TRUSTEES N. LLC
5500 BROWNSHAW DRIVE NW
BOCA RATON, FL 33487
PHONE: (561) 997-7460



3100 N. 34th AVE. SUITE 000
PHOENIX, AZ 85018
PHONE: (602) 554-1412

1 LOAD CENTER PANEL SCHEDULE & NOTES
E-4 N.T.S.

REVISIONS	
DATE	DESCRIPTION

SITE#: TBD
SBA#: TBD
AMULET
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622

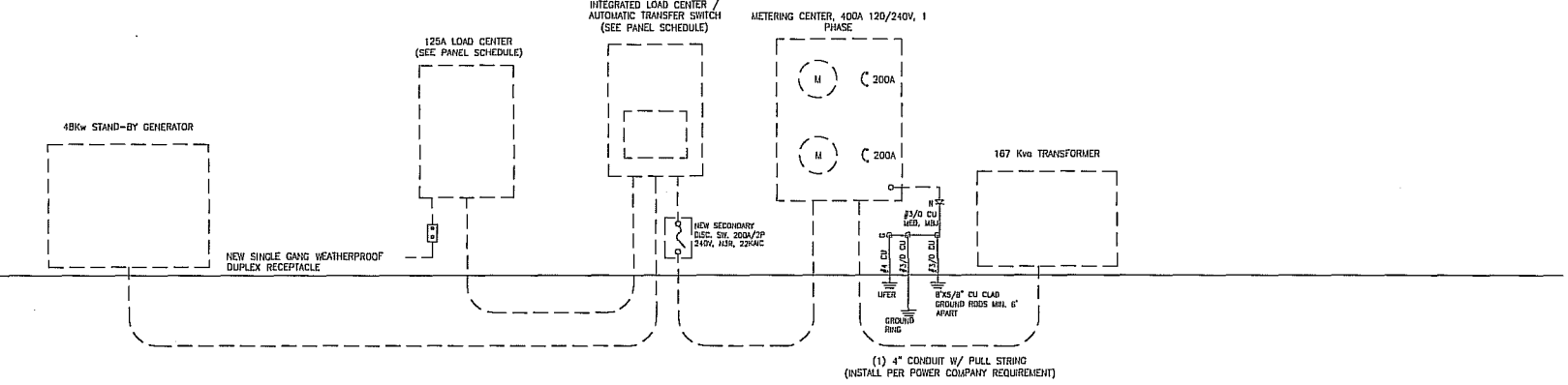


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USED UNDER THE DIRECT SUPERVISION OF
THE REGISTRANT, TO VERIFY THE ACCURACY
OF ANY DATA.

DRAWN BY: JG
CHECKED BY: BK
DATE: 11/11/15
PROJECT #: 14034

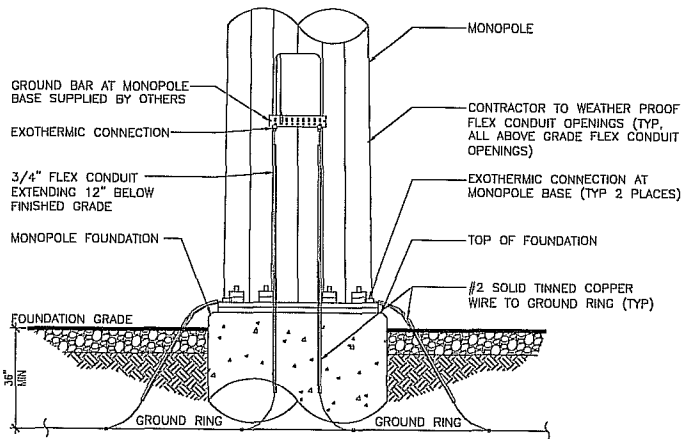
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SINGLE LINE DIAGRAM &
PANEL SCHEDULE

SHEET NUMBER
E-4



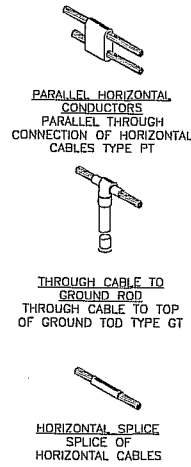
2 ELECTRICAL SINGLE-LINE DIAGRAM
E-4 N.T.S.



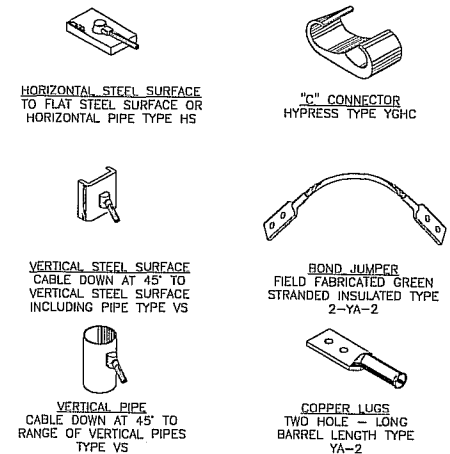


1 GROUNDING @ TOWER BASE
E-5 N.T.S.

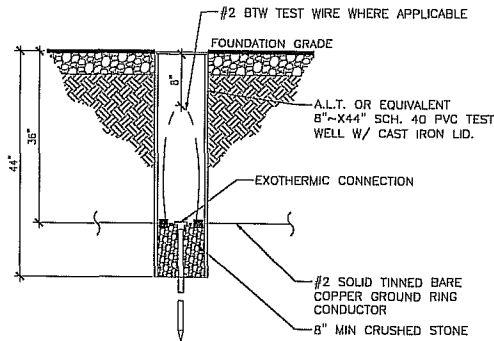
CADWELL CONNECTIONS
(OR APPROVED EQUAL)



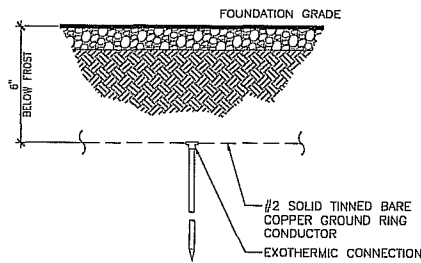
BURNDY CONNECTIONS
(OR APPROVED EQUAL)



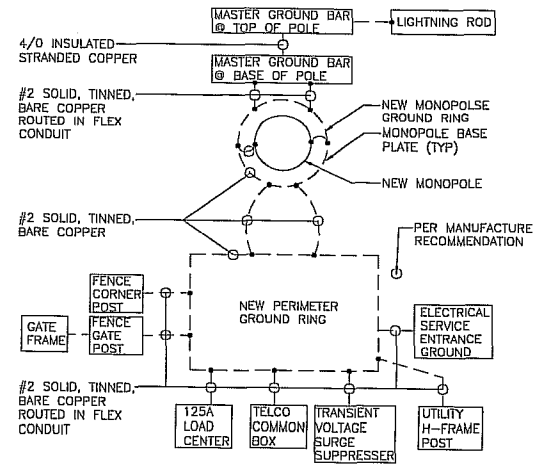
2 TYPICAL WELDING CONNECTIONS
E-5 N.T.S.



3 ACCESS WELL DETAIL
E-5 N.T.S.



4 GROUNDING ROD DETAIL
E-5 N.T.S.



5 GROUNDING SCHEMATIC
E-5 N.T.S.



SBA FINANCIAL SERVICES
100 S. BOCA RATON, FL 33487
PHOENIX: 1-800-487-7443



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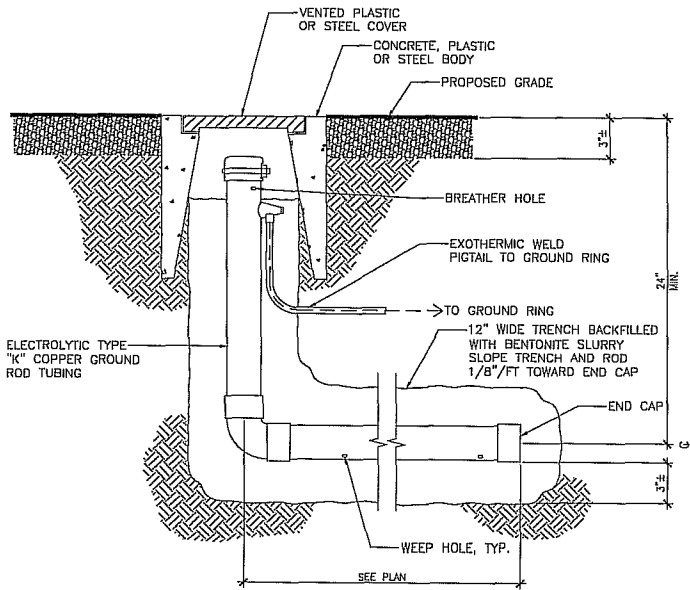
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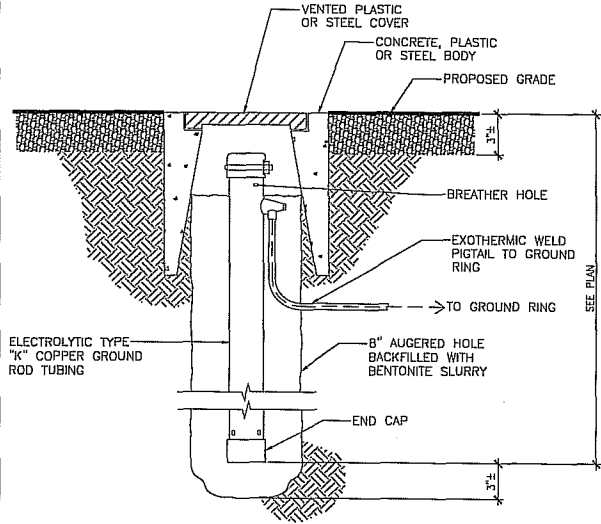
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ELECTRICAL & GROUNDING DETAILS

SHEET NUMBER

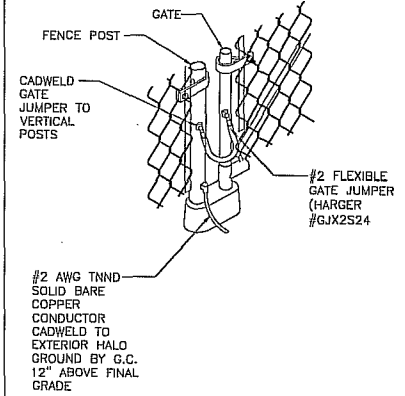
E-5



1 XIT CHEMICAL GROUND DETAIL HORIZONTAL
E-6 (WHEN REQUIRED) N.T.S.



2 XIT CHEMICAL GROUND DETAIL VERTICAL
E-6 (WHEN REQUIRED) N.T.S.



#2 AWG TRND SOLID BARE COPPER CONDUCTOR CADWELDED TO EXTERIOR HALO GROUND BY G.C. 12" ABOVE FINAL GRADE

Contact Arizona B11 at arizona@b11.com or [1-800-477-7863](tel:1-800-477-7863)
ARIZONA
Call B11 or visit arizona@b11.com



SBA SERVICES, LLC
500 N. CENTRAL AVENUE, SUITE 100
BOCA RATON, FL 33487
PHONE: (407) 298-1412



300 S. PALM AVENUE, SUITE 100
PENSACOLA, FL 32503
PHONE: (904) 298-1412

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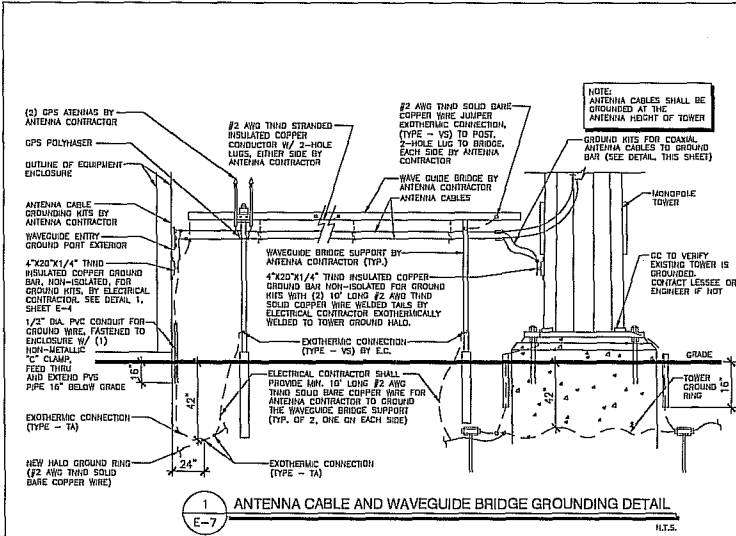
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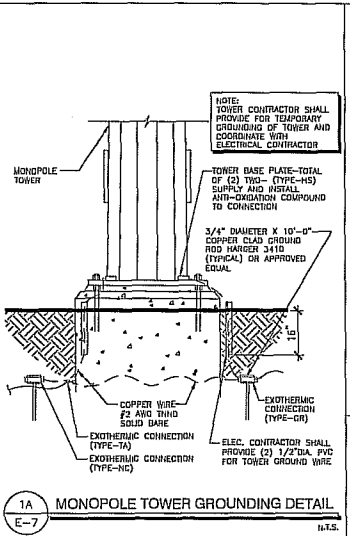
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**ELECTRICAL &
GROUNDING DETAILS**

SHEET NUMBER

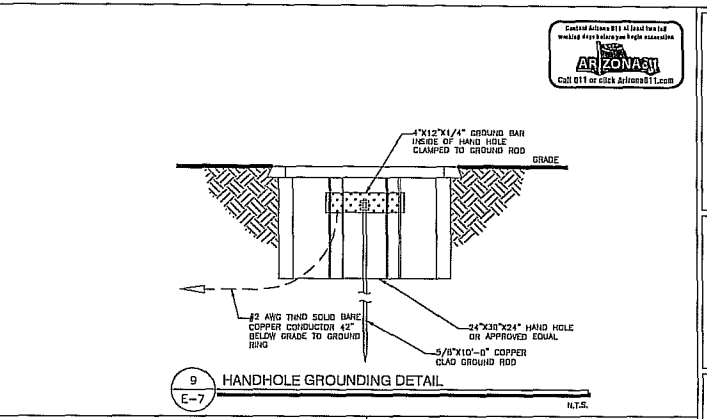
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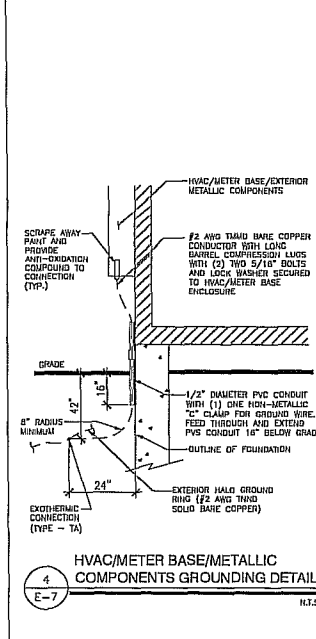
1 ANTENNA CABLE AND WAVEGUIDE BRIDGE GROUNDING DETAIL
N.T.S.



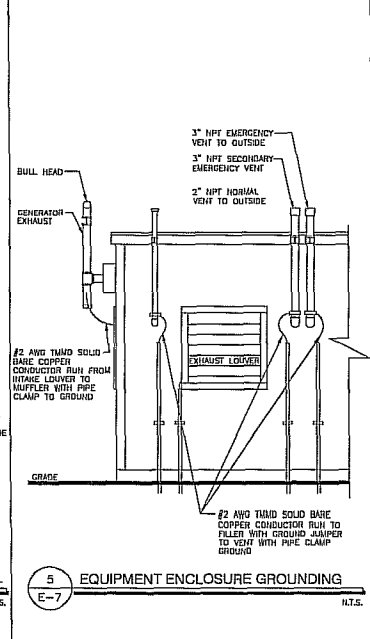
1A MONOPOLE TOWER GROUNDING DETAIL
N.T.S.



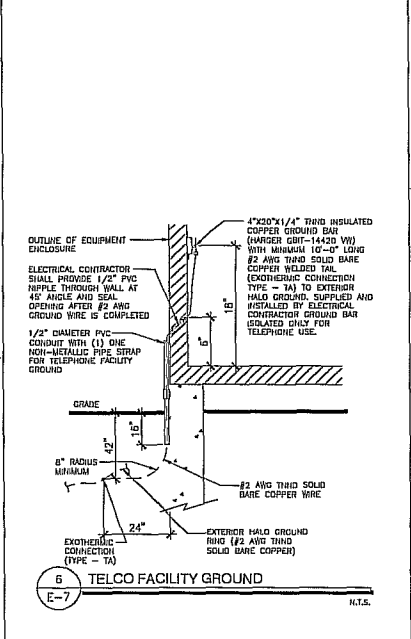
9 HANDHOLE GROUNDING DETAIL
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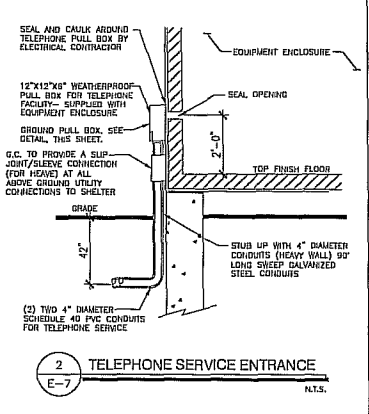
4 HVAC/METER BASE/METALLIC COMPONENTS GROUNDING DETAIL
N.T.S.



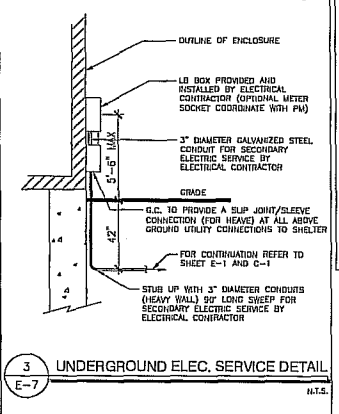
5 EQUIPMENT ENCLOSURE GROUNDING
N.T.S.



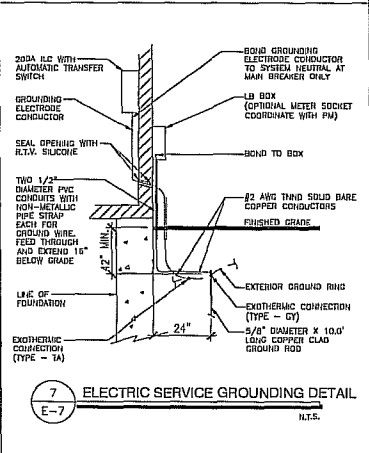
6 TELCO FACILITY GROUND
N.T.S.



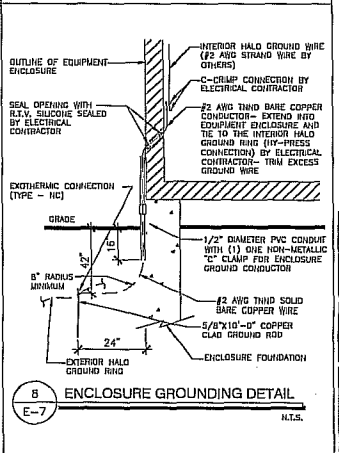
2 TELEPHONE SERVICE ENTRANCE
N.T.S.



3 UNDERGROUND ELEC. SERVICE DETAIL
N.T.S.



7 ELECTRIC SERVICE GROUNDING DETAIL
N.T.S.



8 ENCLOSURE GROUNDING DETAIL
N.T.S.

Control Systems (811) All local laws and building codes apply before any high voltage work.
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Call 811 or check Arizona's 1-800-4-A-SAFE

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PHOENIX, AZ 85013
PHONE: 1-800-467-7863

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PHOENIX, AZ 85016
PHONE: 1-800-397-4742

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SHEET TITLE
LESSEE GROUNDING DETAILS

SHEET NUMBER
E-7

GENERAL NOTES

1. ALL REFERENCES TO OWNER HEREIN SHALL BE CONSTRUED TO MEAN SBA OR IT'S DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
3. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
4. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
5. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED, TO THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR THE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
6. ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE TESTING AGENCY PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
7. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.
10. ALL PROPOSED CELLULAR EQUIPMENT AND FIXTURES SHALL BE FURNISHED BY OWNER FOR INSTALLATION BY THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.
11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
12. RADIO EQUIPMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

STRUCTURAL NOTES

1. DESIGN REQUIREMENTS PER LOCAL BUILDING CODE AND THE EIA/TA-222-G STRUCTURAL STANDARDS FOR STEEL ANTENNAS TOWERS AND SUPPORTING STRUCTURES.
2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF A.I.S.C. SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS-ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN INCLUDING THE COMMENTARY AND THE A.I.S.C. CODE OF STANDARD PRACTICE.
3. STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A36. ALL STRUCTURAL STEEL PIPES SHALL CONFORM TO ASTM A53 GRADE B. ALL STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE B. ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP GALVANIZED AFTER FABRICATION.
4. WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D.1.1-96. STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XX.
5. ALL COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE AS SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
6. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY NORTH AND INFORM OWNER OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
7. ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND 301, AND SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI (U.O.N.). CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL UNLESS OTHERWISE NOTED. MINIMUM CONCRETE COVER SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
8. ALL REINFORCING STEEL SHALL CONFORM TO ASTM 615 GRADE 80, DEFORMED BILLET STEEL BARS, WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A105.
9. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST A.I.S.C. SPECIFICATIONS.
10. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.
11. HOT-DIP GALVANIZED ITEMS SPECIFIED TO BE ZINC-COATED. AFTER FABRICATION WHERE PRACTICAL, GALVANIZING: ASTM A 123, ASTM A 153/A 153M OR ASTM A 653/A 653M, 690, AS APPLICABLE.
12. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A 780 OR BY APPLICATION OF SLAG OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED, AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS. IN STICK OR PASTE, SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF EXCESS MATERIAL.
13. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS/ SPECIFICATIONS IF NO INFORMATION IS CONTAINED IN THESE PLANS OR IF THE MANUFACTURER'S SPECIFICATIONS ARE STRICTER.

PERMITS

1. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. (NOT SUPPLIED BY OWNER)
2. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS. (NOT SUPPLIED BY OWNER)
3. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE LATEST APPLICABLE CODES AND STANDARDS.
4. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY, OR CITY) ENGINEER 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
5. CONTRACTOR RESPONSIBLE FOR CLOSING AND FILING ALL PERMITS ASSOCIATED WITH SITE.

UTILITIES

1. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS AND CONSTRUCTION MANAGER.
3. DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CLIENT. FOR GRASSED AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE OWNER'S REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

GRADING

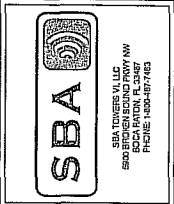
1. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
2. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
4. ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE OWNER IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

PAINTING

1. CONTRACTOR TO COORDINATE PAINTING REQUIREMENTS WITH OWNER.
 2. PAINT COLORS SHALL BE SELECTED TO MATCH EXISTING COLORS AND TEXTURES.
 3. PROVIDE THE BEST QUALITY GRADE OF COATINGS AS REGULARLY MANUFACTURED BY APPROVED PAINT MATERIAL MANUFACTURERS. MATERIALS NOT DISPLAYING THE MANUFACTURER'S IDENTIFICATION AS A STANDARD, BEST-GRADE PRODUCT WILL NOT BE ACCEPTABLE.
 4. PROVIDE UNDERCOAT PAINT PRODUCED BY THE SAME MANUFACTURER AS THE FINISH COATS. USE ONLY THINNERS APPROVED BY THE PAINT MANUFACTURER AND USE ONLY WITHIN RECOMMENDED LIMITS.
 5. COMPLETELY COVER TO PROVIDE AN OPAQUE, SMOOTH SURFACE OF UNIFORM FINISH, COLOR, APPEARANCE, AND COVERAGE. CLOUDINESS, SPOTTINGS, HOLIDAYS, LAPS, BRUSH MARKS, RUNS, SAGS, ROPEINESS, OR OTHER SURFACE IMPERFECTIONS WILL NOT BE ACCEPTABLE.
- FERROUS METALS SHOP PRIMED
TOUCH-UP COAT - RED OXIDE METAL PRIMER
FINISH COATS - SEMI-GLOSS-ALYDIO ENAMEL

SBA CONSTRUCTION REQUIREMENTS

1. AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR SBA'S FILE.
2. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
3. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
4. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONCRETE COMPRESSIVE TESTING AND REQUIRED TO SUBMIT FINAL TEST RESULTS WITH CLOSE OUT BOOK.
5. CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE SBA PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
6. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION, AS WELL AS TELCO SERVICE BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC...)
7. CONTRACTOR WILL HAVE A REPRESENTATIVE ON A WEEKLY CONFERENCE CALL TO PROVIDE SBA WITH SITE SPECIFIC UPDATES. CURRENTLY, THIS CONFERENCE CALL IS HELD EACH AND EVERY THURSDAY AT 4 PM (EASTERN TIME).
8. CONTRACTOR SHOULD BE PREPARED FOR RANDOM SBA SAFETY INSPECTIONS AT ALL TIMES.
9. CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.
10. CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
11. CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AND GETTING SBA'S REGIONAL SITE MANAGER'S SIGN-OFF/CHECKLIST APPROVAL ON THE SITE).
12. CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TOWER DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.
13. CONTRACTOR WILL UTILIZE ALL OF THE SBA PROVIDED DOCUMENTATION INCLUDING BUT NOT LIMITED TO: TOWER CONSTRUCTION ACCEPTANCE CHECKLIST, CONSTRUCTION SCHEDULE, CONSTRUCTION CLOSE-OUT LIST & TOWER HEIGHT VERIFICATION.
14. CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
15. CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING.



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4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622



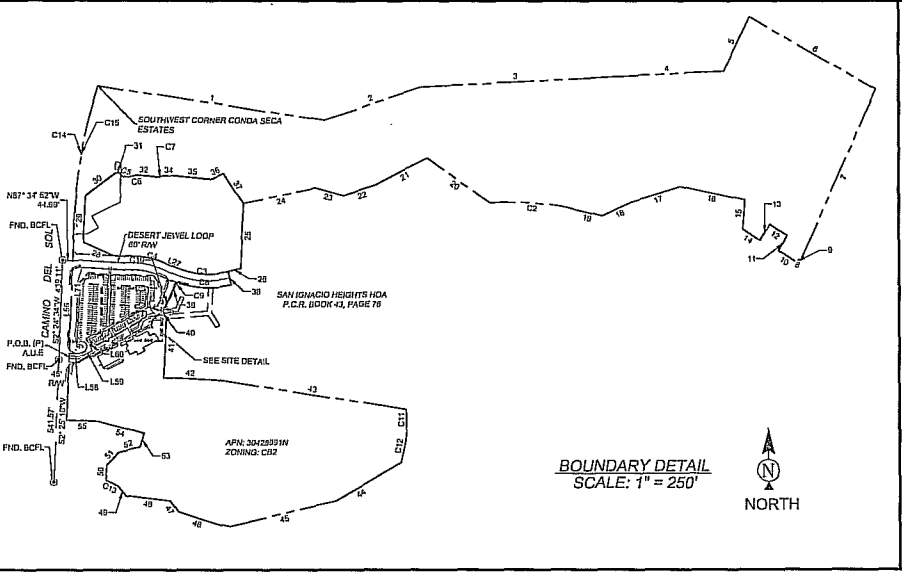
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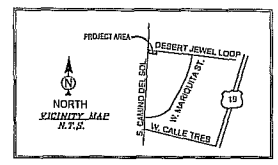
SHEET TITLE
GENERAL NOTES

SHEET NUMBER
N-1





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L2	447.60	N10°29'06"E	L36	57.48	S74°05'06"W	L51	75.01	N42°30'07"E
L3	829.77	N89°55'08"E	L37	41.72	S69°04'52"E	L52	65.07	N15°45'30"E
L4	485.23	N89°55'08"E	L38	142.63	N55°22'33"W	L53	62.57	N11°07'57"E
L5	268.00	N25°34'37"E	L39	209.76	N2°29'09"E	L54	265.00	N15°04'52"W
L6	630.50	S55°43'59"E	L40	165.72	N37°28'09"E	L55	140.03	N87°34'42"W
L7	525.84	S23°35'13"W	L41	14.78	N69°10'09"E	L56	694.55	N12°23'08"E
L8	10.00	N69°24'46"W	L42	27.82	S89°34'52"E	L57	67.69	S88°20'42"E
L9	17.45	S23°32'16"W	L43	24.89	S82°34'52"E	L58	54.29	N67°13'39"E
L10	100.05	N59°29'52"W	L44	38.29	S89°04'52"E	L59	53.12	N28°59'33"W
L11	78.00	N31°55'09"E	L45	178.00	S85°44'52"E	L60	293.22	N61°13'39"E
L12	80.60	N59°29'52"W	L46	55.00	N69°40'09"E	L61	3.50	N2°10'24"E
L13	62.60	S31°15'08"W	L47	153.58	S34°32'52"E	L62	70.38	N2°10'24"E
L14	88.03	N59°29'52"W	L48	60.00	S15°01'54"E	L63	10.85	N87°41'51"W
L15	130.68	N2°45'06"E	L49	53.55	S22°30'06"W	L64	11.00	N12°20'12"E
L16	288.58	N17°44'52"W	L50	37.40	S23°07'03"E	L65	38.00	N87°41'51"W
L17	222.57	S11°55'08"W	L51	264.00	S2°25'09"W	L66	22.47	S1°39'14"W
L18	144.20	S83°35'03"W	L52	227.00	S87°34'52"E	L67	37.73	S89°24'00"E
L19	129.54	N70°35'20"W	L53	816.15	S81°04'52"E	L68	11.00	N2°10'33"E
L20	335.42	N54°49'52"W	L54	230.00	S59°15'09"W	L69	76.78	S72°21'52"E
L21	348.23	S82°40'09"W	L55	478.00	S16°15'09"W	L70	593.00	S2°25'09"W
L22	151.81	S72°10'08"W	L56	188.00	N72°04'52"W			
L23	125.00	N74°34'52"W	L57	63.00	N39°44'52"W			
L24	323.00	S77°55'09"W	L58	192.00	N53°44'52"W			



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BRG.
C2	370.50	1200.00	17°41'24"	N85°04'03"W
C3	235.04	345.00	39°11'01"	S85°40'22"E
C4	142.20	380.00	21°30'00"	S78°40'52"E
C5	38.45	33.00	66°42'11"	S69°12'30"E
C6	37.14	152.00	13°59'50"	S84°25'03"W
C7	28.68	48.00	23°28'20"	N68°40'19"E
C8	213.60	485.00	24°02'27"	S81°47'10"E
C9	6.12	18.00	27°29'41"	S30°19'58"W
C10	78.06	299.00	14°44'59"	N28°59'34"E
C11	95.17	408.00	13°48'20"	N8°39'02"W
C12	142.48	1200.00	8°48'11"	N8°39'10"E
C13	81.78	440.00	16°02'40"	N53°11'54"W
C14	617.89	2355.00	15°01'58"	S9°59'08"W
C15	617.89	2355.00	15°01'58"	S9°59'08"W

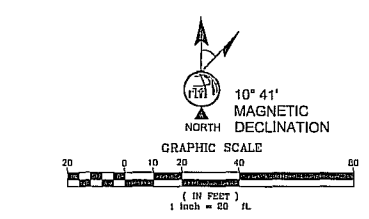
verizon
126 W. GEMINI DR.
TEMPE, AZ 85283



REUSE OF DOCUMENT
THE IDEAS & DESIGN INCORPORATED HEREON, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF RLF CONSULTING, LLC & IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF RLF CONSULTING, LLC.

FIELD BY: JMM
DRAWN BY: PAS
CHECKED BY: RLF

REVISIONS		
NO.	DATE	DESCRIPTION
4	01/14/18	REVISION
3	03/20/15	REVISION
2	08/04/14	FINAL
1	07/24/14	PRELIMINARY



LEGEND

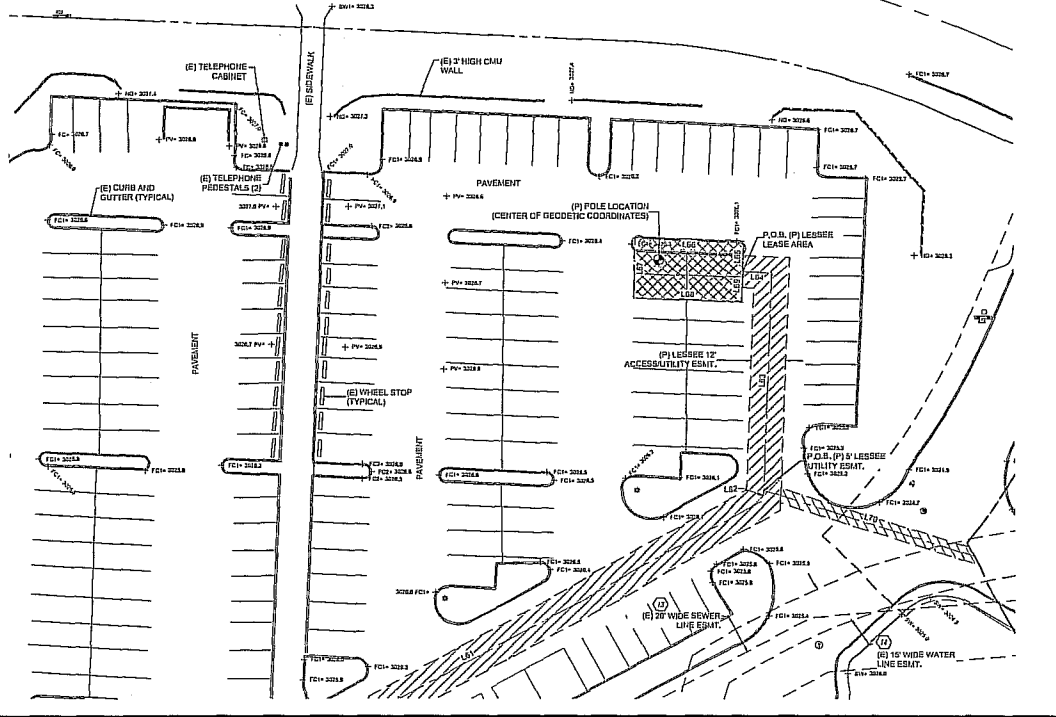
NG	NATURAL GRADE
FC	FACE OF CURB
RW	RIGHT OF WAY
PV	ASPHALT
DAV	ACCESS DRIVEWAY
SW	SIDEWALK
WM	WATER METER
WC	WATER CONTROL VALVE
FN	FOUND AS NOTED
LP	LIGHT POLE
ET	ELECTRICAL TRANSFORMER
EM	ELECTRICAL METER
TM	TELEPHONE METER
TP	TELEPHONE PEDESTAL
GM	GAS METER
DL	DRAINLINE
SS	SAN SEWER TANK/VALVE
IR	IRRIGATION CONTROL VALVE
SI	SIGN
GC	POSITION OF GEODETIC COORDINATES
---	PROPERTY LINE (OTHER)
---	CENTERLINE
---	EASEMENT LINE
---	LEASE LINE
---	WIRE OR BARBED WIRE FENCE

SURVEYOR NOTES

- ALL TITLE INFORMATION IS BASED UPON A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 14257004-14-3180250 EFFECTIVE DATE: 06/05/14.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREIN IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID SEPARATIONS CORRECTING TO HGS CORES STATIONS PROVIDED IN THE 'GALILEO POSITIONING USER SERVICE (GPS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE HAZDS COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 07/15/14.



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PROJECT NO:
09001601

SITE NAME:
TUC AMULET

SITE ADDRESS:
4201 S. CAMINO DEL SOL
GREEN VALLEY, AZ 85622

SHEET TITLE:
SITE SURVEY

SHEET NO. REVISION:
LS-1

Pima County Comprehensive Plan
Upper Santa Cruz Planning Area
Plan Designation: Neighborhood Activity Center (NAC)
Special Area Policy S-11 Green Valley Height Policy
Rezoning Policy RP-29 Fairfield Green Valley Project

LIR

LIU 3.0

LIU 3.0

S. Camino del Sol

S. Desert Jewel Loop

Subject Site
NAC

LIU 3.0

LIU 3.0

Flood Control
Resource Area

RS