



BOARD OF SUPERVISORS AGENDA ITEM REPORT

Requested Board Meeting Date: January 2, 2018

Title: Sonoran Ranch Estates II, Phase I, Lots: 1-43, 53-79, 80, 105, 106 and 128
P15SC00034

Introduction/Background:

Acceptance of the above referenced Project/Roadway into the Pima County Maintenance System.

Discussion:

Project/Roadway Improvements have been completed and dedicated to Pima County and Recorded as Public Right-of-Way. Recommendation is made to accept the attached roadways into the Pima County Maintenance System.

Conclusion:

If Approved:

Public improvements completed adjacent to these Subdivision Lots and/or Roadway will be maintained by the Pima County Department of Transportation.

If Denied:

Recently completed improvements to the above referenced Project/Roadway will not be maintained by the Pima County Department of Transportation.

Recommendation:

Acceptance of the attached roadways/subdivision improvements into the Pima County Maintenance System.

Fiscal Impact:

No cost to the Department for these improvements. If accepted into the Maintenance System there will be a cost associated with the maintenance, however not immediately since it is new construction.

Board of Supervisor District:

1 2 3 4 5 All

Department: Transportation Telephone: 520-724-2650

Contact: Martin Landin Telephone: 520-724-2819

Department Director Signature/Date: James Cunningham 11-27-2017

Deputy County Administrator Signature/Date: [Signature] 12/5/17

County Administrator Signature/Date: C. Bullock 12/6/17



SONORAN RANCH ESTATES II

LOTS 1-572

COMMON AREA "A" AND COMMON AREA "B"

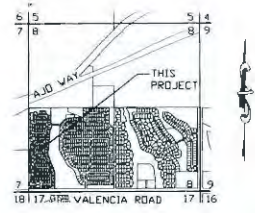
BOOK 60 PAGE 47 M&P

PRIVATE GRADING AND DRAINAGE PLANS PUBLIC PAVING AND SEWER PLANS

PHASE 1

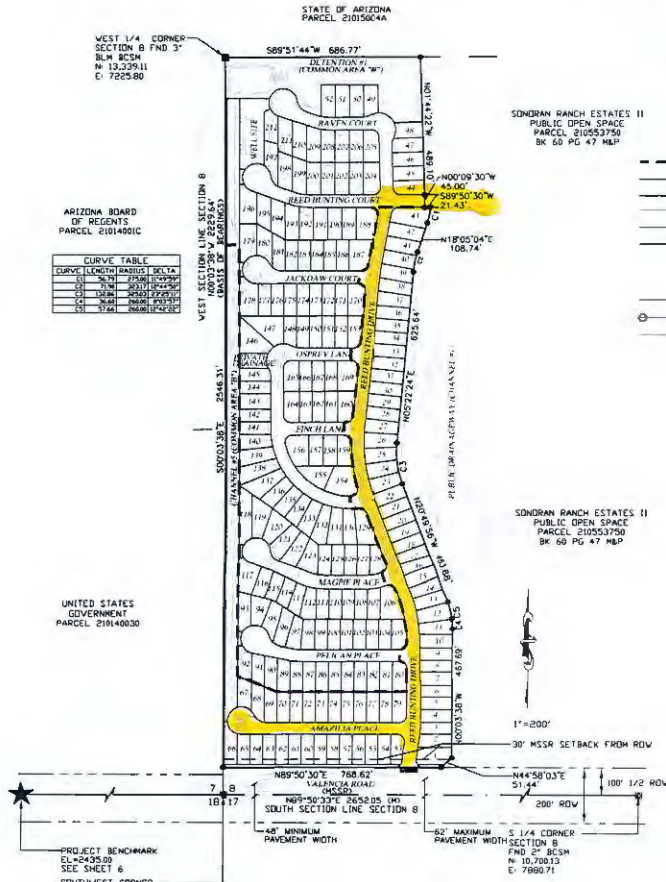
LOTS 1-43, 53-79 80, 105, 106, 128

COMMON AREA "B" (CHANNEL 5)



LOCATION MAP
SECTION 8 T15S R12E
GILTA & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA
SCALE: 3" = 1 MILE

PROJECT CONTROL MAP



CURVE TABLE

STATION	CHORD BEARING	CHORD DISTANCE	ARC BEARING	ARC DISTANCE
1+00.00	S 89° 50' 30" E	788.62'	78° 50' 30"	1000.00'
1+00.00	S 89° 50' 30" E	788.62'	78° 50' 30"	1000.00'
1+00.00	S 89° 50' 30" E	788.62'	78° 50' 30"	1000.00'
1+00.00	S 89° 50' 30" E	788.62'	78° 50' 30"	1000.00'
1+00.00	S 89° 50' 30" E	788.62'	78° 50' 30"	1000.00'

SONORAN RANCH ESTATES II
PUBLIC OPEN SPACE
PARCEL 210553750
BK 60 PG 47 M&P

SONORAN RANCH ESTATES II
PUBLIC OPEN SPACE
PARCEL 210553750
BK 60 PG 47 M&P

LEGEND

EXISTING	PROPOSED
EXISTING MONUMENT AS NOTED	NEW SURVEY MONUMENT
PHASE LINE	PROPOSED INDEX CONTOUR
SECTION LINE	PROPOSED MINOR CONTOUR
PROPERTY BOUNDARY	PROPOSED SEWER LINE
LOT LINE	PROPOSED MANHOLE
RIGHT OF WAY LINE	PROPOSED 4" HCS
RIGHT-OF-WAY CENTERLINE	PROPOSED WATER LINE
EXISTING INDEX CONTOUR	PROPOSED TEE AND VALVE
EXISTING MINOR CONTOUR	PROPOSED FIRE HYDRANT
EXISTING WATER LINE	PROPOSED DRAIN VALVE
EXISTING SEWER LINE AND MANHOLE	PROPOSED WATER SERVICE
EXISTING GAS LINE	PROPOSED AIR RELEASE VALVE
EXISTING RIP-RAP	PAD FINISHED GRADE
	PAD GRADING STYLE
	PROPOSED RIP-RAP
	PROPOSED CONCRETE
	PROPOSED PAVEMENT
	PROPOSED FUTURE PAVEMENT

SHEET INDEX

SHT NO.	SHT NO.	SHT NO.
1 COVER SHEET	15 CHANNEL 5 PROFILE	
2 SHEET INDEX	16 CHANNEL 5 CROSS SECTIONS	
3 AS-BUILT CERT SHEET	17 AMAZILIA PLACE PLAN AND PROFILE	
4 SEWER NOTES	18 REED BUNTING DRIVE PLAN AND PROFILE	
5 SEWER DETAILS	19 REED BUNTING DRIVE PLAN AND PROFILE	
6 GRADING PAVING NOTES	20 REED BUNTING DRIVE PLAN AND PROFILE	
7 GRADING DETAILS	21 OSPREY LANE PLAN AND PROFILE	
8 GRADING PLAN	22 STRIPING DEMOLITION	
9 GRADING PLAN	23 STRIPING AND STRIPING	
10 GRADING PLAN	24 MAGPIE AND PELICAN PLACE PLAN AND PROFILE	
11 GRADING PLAN		
12 SCUPPER DETAILS		
13 CATCH BASIN DETAIL		
14 CHANNEL 5 PROFILE		

SITE AREA
TOTAL PROJECT AREA = 41.03 AC
TOTAL AREA FOR PHASE 1 = 13.73 AC

AS-BUILT CERTIFICATION:
HEREBY CERTIFY THAT THE AS-BUILT ANNOTATIONS PROVIDED ON THIS DRAWING WERE BASED ON AN AS-BUILT SURVEY CONDUCTED UNDER MY SUPERVISION AND ACCURATELY DEPICTS EXISTING FIELD CONDITIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR _____ DATE _____
REGISTRATION NUMBER _____ EXPIRES _____
G2015-098
P155C00034

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 T15S R12E
GILTA & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA

PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 COVER

ORIGINAL SEWER APPROVAL NOTE
THE ORIGINAL SEWER APPROVAL NUMBER WAS G-2005-124.

REVISION	DATE	DESCRIPTION	BY
1	08/01/16	REVISED PER OSD COMMENTS 01/29/16	DHR
2	04/19/16	REVISED SHEET NUMBERS AND INDEX ADDED LOTS 80, 105 & 106 TO PHASE	DHR
3	07/12/16	REVISED SHEETS 6, 7 AND 20. ENTRY LANE CURB AND SIDEWALK	
4			
5			
6			
7			

OWNER
FIRST AMERICAN TITLE TR 9151
BENEFICIARY: KB HOME, INC
4127 E VAN BUREN ST STE 150
PHOENIX AZ, 85006-6934



ALLIANCE
ENGINEERING, PC
CIVIL ENGINEERING

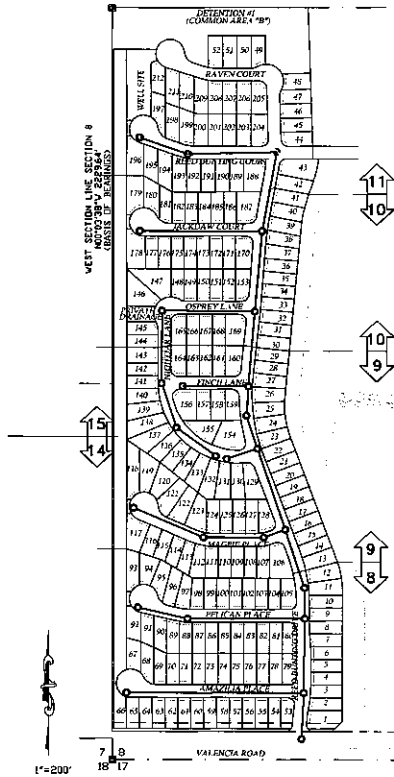
440 W CANYON SHADOWS LN ORO VALLEY AZ 85737
PH: (520) 975-7992 www.alliancepc.com

AS BUILT BY: APEX DRAWN BY: DHR CHK BY: DHR PROJ: 15-167 SHEET 1 OF 23

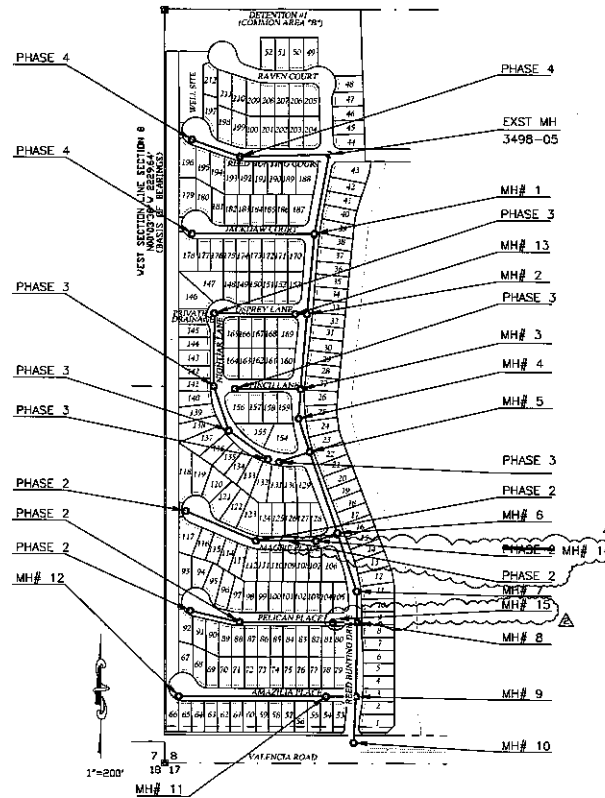


P155C00034 Rev3
Approved 07/12/2016

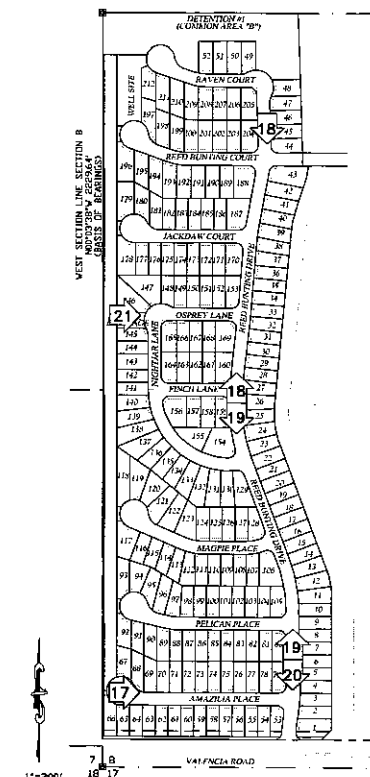
GRADING INDEX



MANHOLE INDEX



PAVING/SEWER INDEX



G2015-098
P155C00034

**SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P**
A PORTION OF SECTION 8 T15S R12E
G1&A & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA

**PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 SHEET INDEX**



REVISION	DATE	DESCRIPTION	BY
△	02/01/16	REVISED PER DSD COMMENTS 01/29/16	DHR
△	04/15/16	REVISED SHEET NUMBERS AND ADDED MH 14 & 15	DHR
△			
△			
△			
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ALLIANCE
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CIVIL ENGINEERING
1440 W CANYON SHADOWS LN ORO VALLEY AZ 85132
PH: (520) 975-7992 www.alliance.com



SPECIAL NOTE REGARDING EXISTING 8" SEWER (G-2005-124)

A PORTION OF THE "NEW 8" SEWER SHOWN HEREON WAS PREVIOUSLY CONSTRUCTED UNDER G-2005-124 (EXPIRED) AND AS-BUILT BY MARK MACHEN (R.L.S. 16589) ON 06/17/15, BUT WAS NOT APPROVED BY ADEQ OR PCRWRD. THE PORTION OF THE EXISTING 8" SEWER, TERMINATES IN EXISTING MH 3498-05 (ACCEPTED). THE FOLLOWING MANHOLES AS SHOWN HEREON ARE EXISTING:

MH1, MH2, MH3, MH4, MH5, MH6, MH7, MH8, MH9, MH10

THE FOLLOWING MANHOLES AND THEIR RELATED RUNS ARE NEW:

MH11, MH12, AND MH13.

THE REMAINING MANHOLES WILL BE CONSTRUCTED BASED ON PHASING AS SUBMITTED TO PCRWRD AND SHALL MEET ALL PCRWRD AND ADEQ REQUIREMENTS AND STANDARDS.

**MANHOLE AS-BUILT INFORMATION
SONORAN RANCH ESTATES II
AND
COMMON AREAS "A" AND "B"**

M.H. No.	STATE PLANE COORDINATES (ARIZONA CENTRAL) NAD 83 INTERNATIONAL		STATIONING	DISTANCE TO DOWNSTREAM MANHOLE
	NORTHING	EASTING		
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**H.C.S. AS-BUILT INFORMATION
SONORAN RANCH ESTATES II
AND
COMMON AREAS "A" AND "B"**

LOT No.	STATE PLANE COORDINATES (ARIZONA CENTRAL) NAD 83 INTERNATIONAL		STATIONING	DISTANCE TO DOWNSTREAM MANHOLE
	NORTHING	EASTING		
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**H.C.S. AS-BUILT INFORMATION
SONORAN RANCH ESTATES II
AND
COMMON AREAS "A" AND "B"**

LOT No.	STATE PLANE COORDINATES (ARIZONA CENTRAL) NAD 83 INTERNATIONAL		STATIONING	DISTANCE TO DOWNSTREAM MANHOLE
	NORTHING	EASTING		
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G2015-098
P155C00034



**SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P**
A PORTION OF SECTION 8 1155 RIZE
GILA & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA

**PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
▲ LOTS 80, 105, 106, 128**

AS-BUILT CERTIFICATION SEWER

REVISION	DATE	DESCRIPTION	BY
▲	02/21/16	REVISED PER ISD COMMENTS 01/29/16	DHR
▲	04/19/16	REVISED SHEET NUMBERS AND ADDED MH 14 & 15, HCS 80, 105, & 106	DHR
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PH: (520) 975-7992 www.alliance.com



P15SC00034 RevD
Approved 07/12/2016

SEWER NOTES

1. ALL DESIGN STANDARDS, MATERIALS AND WORKMANSHIP FOR PUBLIC SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (PCWRD) ENGINEERING DESIGN STANDARDS (2012) AND THE STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012). SAID DOCUMENT AVAILABLE THROUGH THE PCWRD WEBSITE (WWW.PMAAGOV/WWW/ENR/DES_STD.NHTM).
2. THE CONTRACTOR SHALL CALL "BLUE STAKE" (1-800-782-5348) A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL KEEP ALL "BLUE STAKE" REQUESTS UP-TO-DATE AND COMPLY WITH APPLICABLE ARIZONA REVENUE STATUTES (A.R.S.) TITLE 40, CHAPTER 1, ARTICLE 6.3 SECTION 40-360.2Z PERTAINING TO "BLUE STAKE". ERRORS IN "BLUE STAKE" SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
3. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL "BLUE STAKE" 1-800-782-5348. A MINIMUM OF TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATING.
4. THE CONTRACTOR SHALL FIELD VERIFY EXISTING SEWER ELEVATIONS AND ALIGNMENTS PRIOR TO CONSTRUCTION AND IMPLEMENTATION. VERIFICATION MAY REQUIRE POT-HOLING.
5. HOUSE OR BUSINESS CONNECTION SEWERS (HCS OR BCS) ARE NOT PART OF THE PUBLIC SANITARY SEWER CONVEYANCE SYSTEM. PRIVATE CONNECTION SEWERS CONSTRUCTED PRIOR TO JANUARY 2006 ARE NOT REQUIRED TO BE BLUE STAKED. ANY HCS/BCS ENCOUNTERED DURING CONSTRUCTION SHALL BE PROTECTED, REPAIRED, OR REROUTED, AS THE SITUATION DICTATES PER PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (PCWRD) STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION 2012 MANUAL, DETAIL RWRD 400 AND AT NO EXPENSE TO THE PROPERTY OWNER OR R/W PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT.
6. LOTS REQUIRING BACKWATER VALVES: 7, 8, 13, 14, 15, 29, 30, 31, 32, AND 38.
7. ANY ACTIVITY THAT MIGHT AFFECT THE SANITARY SEWER SYSTEM REQUIRES APPROVAL AND/OR PERMIT BY PCWRD PRIOR TO ANY ACTIVITY.
8. SEWER CONSTRUCTION SHALL NOT COMMENCE UNTIL (A) PIMA COUNTY OF ENVIRONMENTAL QUALITY (PCDEQ) HAS ISSUED A CONSTRUCTION AUTHORIZATION FOR THIS PROJECT AND (B) THE CONTRACTOR HAS OBTAINED A PUBLIC SEWER CONSTRUCTION PERMIT FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (520-740-6359) (C) A PRE-CONSTRUCTION MEETING WITH THE ASSIGNED PIMA COUNTY PROJECT FIELD INSPECTOR AT LEAST THREE (3) FULL WORKING DAYS PRIOR TO THE START OF SEWER CONSTRUCTION. FLOW MANAGEMENT PLANS SHALL BE SUBMITTED TO FIELD ENGINEERING THIRTY (30) DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING.
9. THE CONTRACTOR SHALL MAKE FULL PAYMENT OF THE INSPECTION FEES AND OBTAIN A PCWRD SEWER CONSTRUCTION PERMIT FROM THE PIMA COUNTY SEWER CONSTRUCTION PERMIT SECTION A MINIMUM OF THREE (3) FULL BUSINESS DAYS PRIOR TO COMMENCING ANY SEWER CONSTRUCTION ACTIVITIES. FIVE (5) SETS OF THE CONSTRUCTION PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS (IF APPLICABLE) SHALL BE SUBMITTED WITH THE SANITARY SEWER CONSTRUCTION PERMIT APPLICATION. FIELD ENGINEERING REQUIRES A MINIMUM OF 3 BUSINESS DAYS NOTIFICATION. (520-740-2651). NO WORK SHALL BE PERFORMED IN ANY CASE WITHOUT A PCWRD CONSTRUCTION PERMIT.
10. IMMEDIATELY REPORT ANY RELEASE OF SEWAGE, AND/OR ANY DAMAGE TO OR THE DROPPING OF DEBRIS INTO THE PUBLIC SANITARY SEWAGE CONVEYANCE SYSTEM TO EITHER PCWRD FIELD ENGINEERING (520-740-2651) OR PCWRD CONVEYANCE DIVISION (520-443-5500), ON WEEKENDS, HOLIDAYS, OR BETWEEN 5:00 PM AND 7:00 AM IMMEDIATELY CALL PCWRD CENTRAL CONTROL ROOM (CCR) AT 520-443-5048 AND REQUEST A PCWRD REPRESENTATIVE BE DISPATCHED TO THE SITE. TAKE IMMEDIATE ACTION TO CONTAIN THE SANITARY SEWAGE OVERFLOW (SSO) FROM THE SEWER SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST TO REPAIR THE SYSTEM, FOR ALL EXPENSES TO MITIGATE THE RELEASE AND TO DISINFECT THE RELEASE AREA, AND FOR ANY REGULATORY PENALTIES LEVIED ON PCWRD BECAUSE THE SSO ENTERED A NATURAL DRAINAGE WAY OR STORM WATER DRAINAGE SYSTEM. THE CONTRACTOR SHALL REPAIR ALL DAMAGE AS DIRECTED AND APPROVED BY THE PCWRD.
11. THE INSPECTION OF THE CONTRACTOR'S WORK BY AN AGENCY AND/OR PCWRD STAFF SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONSTRUCTION PLANS AND/OR SPECIFICATIONS. IF THE ENGINEER OF RECORD OR PCWRD STAFF FAIL TO POINT OUT A DEFECT, DEFICIENCY OR ERROR IN THE WORK FROM LACK OF DISCOVERY OR FOR ANY OTHER REASON, IT SHALL IN NO WAY PREVENT LATER REJECTION OR RELIEVE THE CONTRACTOR OF PERFORMING CORRECTIONS TO THE UNSATISFACTORY WORK WHEN DISCOVERED. THE CONTRACTOR SHALL NOT FILE A CLAIM FOR LOSSES SUFFERED DUE TO ANY NECESSARY REMOVALS OR REPAIRS RESULTING FROM THE UNSATISFACTORY WORK.
12. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS AT ALL TIMES AND PCWRD MANHOLE ENTRY GUIDELINES.
13. ALL ROUGH GRADING, INCLUDING FILL, SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF SANITARY SEWERS TO A MINIMUM OF 4 FEET OVER THE TOP OF THE SEWER PIPE AND COMPACTION AS INDICATED ON THE PLANS OR AS OTHERWISE DIRECTED BY PCWRD.
14. BEDDING SHADING, AND TRENCH BACKFILL COMPACTION SHALL BE IN ACCORDANCE WITH DETAILS NOS. RWRD-104 AND RWRD-105, OR AS SHOWN ON THE PLANS. SHOULD GROUND WATER OR UNANTICIPATED SOIL CONDITIONS BE ENCOUNTERED, THE BEDDING SHALL BE MODIFIED BY THE ENGINEER OF RECORD AND APPROVED BY PCWRD.
15. SANITARY SEWER CONSTRUCTION SHALL START AT THE LOWEST DOWNSTREAM POINT AND PROGRESS UPSTREAM, REGARDLESS OF THE STATIONING SHOWN ON THE PLANS. IF NOT, THE CONTRACTOR SHALL PROVIDE AN OUT OF SEQUENCE LETTER FOR APPROVAL BY PCWRD.
16. THE HORIZONTAL DISTANCE BETWEEN A PUBLIC WATER MAINS AND PUBLIC SEWER LINES SHALL COMPLY WITH A.A.G. R18-5-502 AND S.D. RWRD-108.

17. ACCORDING TO THE REVISED "BLUE STAKE LAW" (ARS 40-360.21 THROUGH 40-360.32), THIS PROJECT IS SUBJECT TO THE NEW SERVE LATERAL DESIGN AND CONSTRUCTION REQUIREMENTS PER SUBSECTION 3.5.5 OF THE PCWRD ENGINEERING DESIGN STANDARDS (2012) AND S.D. RWRD-401 AND RWRD-404.
18. NEW PUBLIC SEWER FACILITIES MUST BE TESTED, INSPECTED AND AUTHORIZED FOR DISCHARGE BY PCWRD AND ADED PRIOR TO DISCHARGING INTO THE EXISTING PUBLIC SANITARY SEWER.
19. AS-BUILT SEWER PLANS ARE REQUIRED FOR FINAL ACCEPTANCE OF SEWER CONSTRUCTION BY PCWRD AND SHALL CONFORM TO SUBSECTION 1.4.7 OF THE PCWRD STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012). SUBMIT THREE BLACK LINE COPIES AND AN ELECTRONIC VERSION TO THE PCWRD FIELD ENGINEER.
20. ONLY PLANS ACCEPTED BY PCWRD SHALL BE USED FOR THE INSTALLATION OF SANITARY SEWER FACILITIES. PLANS ACCEPTED BY PCWRD REQUIRING REVISION SHALL BE RESUBMITTED FOR REVIEW AND RE-ACCEPTANCE BY PCWRD PRIOR TO START OF THE REVISED WORK.
21. SEWER CONSTRUCTION WILL NOT BE ACCEPTED BY PCWRD IF IT INCLUDES ADDITIONAL WORK NOT PROVIDED IN THE APPROVED SET OF PLANS. SEE SUBSECTION 1.4.5 OF THE REGARDING THE PCWRD STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012) REGARDING THE APPROVAL OF FIELD CHANGES.
22. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SANITARY SEWER MANHOLE STRUCTURES AT ALL TIMES.
23. ALL LANDSCAPING LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF THE PUBLIC SANITARY SEWER AND MANHOLES AND/OR WITHIN THE PUBLIC SEWER EASEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE PLANTING GUIDELINES CONTAINED WITHIN PCWRD ENGINEERING DESIGN STANDARDS (2012) MANUAL, SECTION 7.7.
24. ALL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES SHALL BE INSTALLED SO AS TO PREVENT ALL STORM WATER, CONSTRUCTION WATER, FUELS, CHEMICALS, OR LIQUIDS TO BE DIRECTED INTO OR ONTO ANY SANITARY SEWER FACILITIES. PROTECTION OF SANITARY SEWER FACILITIES SHALL BE A PART OF THE APPROVED CONSTRUCTION SWPPP AND BEST MANAGEMENT PRACTICES. PROTECTION DEVICES SHALL BE INSTALLED AND MAINTAINED AROUND ALL POTENTIALLY AFFECTED SANITARY SEWER FACILITIES WITHIN THE PROJECT LIMITS. ADDITIONAL MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO THE USE OF RAIN STOPPERS AND MANHOLE COVERS AS DEEMED NECESSARY BY PCWRD.
25. ALL PROJECT ACTIVITIES MUST BE KEPT WITHIN THE PROJECT AREAS. A CAUTION MUST BE NOTED CONCERNING HUMAN BURIALS, ARCHEOLOGICAL, CLEARANCE RECOMMENDATIONS DO NOT EXEMPT THE DEVELOPMENT FROM COMPLIANCE WITH STATE BURIAL PROTECTION LAWS. IN THE EVENT THAT HUMAN REMAINS, INCLUDING HUMAN SKELETAL REMAINS, CREMATIONS, AND/OR CEREMONIAL OBJECTS AND FUNERARY OBJECTS ARE FOUND DURING EXCAVATION OR CONSTRUCTION, GROUND DISTURBING ACTIVITIES MUST CEASE IN THE IMMEDIATE VICINITY OF THE DISCOVERY. STATE LAWS ARS 41-865 AND ARS 41-844 REQUIRE THAT THE ARIZONA STATE MUSEUM BE NOTIFIED OF THE DISCOVERY AT (520) 621-4795 SO THAT CULTURAL GROUPS WHO CLAIM CULTURAL OR RELIGIOUS AFFINITY TO THEM CAN MAKE APPROPRIATE ARRANGEMENTS FOR THE REPAIRATION AND REBURIAL OF THE REMAINS. THE HUMAN REMAINS WILL BE REMOVED FROM THE SITE BY A PROFESSIONAL ARCHEOLOGIST PENDING CONSULTATION AND REVIEW BY THE ARIZONA STATE MUSEUM AND THE CONCERNED CULTURAL GROUPS.
26. SURVEY CUT SHEETS SHALL BE DEVELOPED IN ACCORDANCE WITH SUBSECTION 3.2.3(A)(1), PCWRD STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012) OF THE CERTIFIED CUT SHEETS SHALL BE SUBMITTED TO THE PCWRD FIELD ENGINEER PRIOR TO COMMENCEMENT OF SEWER CONSTRUCTION. THE CUT SHEETS ARE FOR THE PROJECT FILE AND COMMENCEMENT OF SEWER CONSTRUCTION WILL NOT BE DELAYED DUE TO REVIEW OF THE DELIVERABLE. ANY ERRORS OR EMISSIONS RESULTING IN IMPROPER SEWER CONSTRUCTION SHALL NOT BE THE RESPONSIBILITY OF PCWRD. REFER TO SUBSECTION 3.2.3(A)(1) FOR ALIGNMENT VERIFICATION REQUIREMENTS INCLUDING THE SPACING REQUIREMENTS FOR GRADE STAKES.
27. SURVEY LAYOUT AND SURVEY CONTROL SHALL BE PERFORMED BY, OR UNDER THE DIRECT SUPERVISION OF, A REGISTERED LAND SURVEYOR (RLS) REGISTERED IN THE STATE OF ARIZONA. PRIOR TO THE START OF SURVEY ACTIVITIES, THE INDIVIDUAL OR COMPANY RESPONSIBLE FOR SURVEY LAYOUT AND CONTROL SHALL CONTACT THE PIMA COUNTY DEPARTMENT OF TRANSPORTATION, SURVEY SECTION, DANIEL TREMBLAY, RLS, SURVEY MANAGER, AT 740-2829 TO ARRANGE A MEETING TO REVIEW SURVEY CONTROL, (HORIZONTAL AND VERTICAL), TO BE UTILIZED ON THE PROJECT.
28. SECTION 2, FOR FLOW MANAGEMENT PLAN REQUIREMENTS. CALL REGIONAL WASTEWATER FIELD ENGINEERING AT 520-740-2651 REGARDING ALL QUESTIONS INVOLVING THE PREPARATION OF FLOW MANAGEMENT PLANS. PCWRD STANDARD SPECIFICATIONS AND DETAIL FOR CONSTRUCTION 2012 MANUAL, SECTION 2.2.1 APPLIES TO ANY PROJECT THAT REQUIRES TRENCHING WITHIN SIX (6) FEET HORIZONTALLY AND/OR TWO (2) FEET VERTICALLY OF AN EXISTING PUBLIC SEWER LINE. PRECEDING ANY WORK THAT MAY AFFECT A LIVE SEWER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO: (A) IDENTIFY AND INCLUDE ALL FLOW MANAGEMENT COSTS IN THE CONSTRUCTION BID AND (B) PROVIDE A FLOW MANAGEMENT PLAN THIRTY (30) DAYS PRIOR TO A PRE-CONSTRUCTION MEETING WITH WASTEWATER FIELD ENGINEERING. REFER TO PCWRD STANDARD SPECIFICATIONS AND DETAIL FOR CONSTRUCTION (2012) MANUAL.
29. FOR PROJECTS REQUIRING A FLOW MANAGEMENT PLAN, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO (A) SUBMIT A PUBLIC SEWER PERMIT APPLICATION, AND (B) PROVIDE A FLOW MANAGEMENT PLAN AT LEAST THIRTY (30) DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING WITH PCWRD FIELD ENGINEERING PRIOR TO BEGINNING SEWER CONSTRUCTION. FIELD ENGINEERING WILL REVIEW THE FMP WITHIN 10 BUSINESS DAYS TO ACCOMMODATE REVIEW AND REVISION CYCLES. REFER TO SECTION 2 OF THE PCWRD STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012). FOR ANY QUESTIONS REGARDING FLOW MANAGEMENT, PLEASE CONTACT PCWRD FIELD ENGINEERING AT (520) 740-2651.

30. THE CONTRACTOR SHALL FURNISH, OPERATE AND MAINTAIN ALL EQUIPMENT AND LABOR NECESSARY TO PROVIDE CONTINUOUS 24 HR/DAY SANITARY SEWER SERVICE TO ALL PARTIES TRIBUTARY TO A LIVE SANITARY SEWER TO WHICH A CONNECTION IS TO BE MADE. THE PCWRD CONVEYANCE SECTION SHALL BE NOTIFIED AT (520-443-5500) A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES THAT COULD EITHER ADVERSELY IMPACT THE FLOW WITHIN A LIVE SANITARY SEWER SYSTEM, OR INVOLVE CONNECTION TO ANY PUBLIC SANITARY SEWER. THE CONTRACTOR'S ATTENTION IS DIRECTED TO SECTION 2 OF THE PCWRD STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012).
31. WHERE CONNECTIONS TO EXISTING MANHOLES ARE TO BE MADE, THE CONTRACTOR SHALL CONSTRUCT NEW INVERTS IN THE EXISTING BASE TO SMOOTHLY DIRECT THE FLOW IN THE PROPER DIRECTION.
32. DUCTILE IRON PIPE 6 INCHES AND GREATER IN DIAMETER, FITTINGS AND METAL COUPLINGS SHALL HAVE AN APPROVED INTERIOR LINING. ALL DIP SHALL BE INSTALLED WITH AN APPROVED EXTERIOR POLYETHYLENE WRAPPING.
33. MANHOLE SURFACES THAT REQUIRE INTERIOR CORROSION PROTECTION SHALL BE CAULKED, SEALED AND COATED PER PCWRD ENGINEERING DESIGN STANDARDS (2012) MANUAL, SECTION 5.2.16, AND STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012) MANUAL, SECTION 3.3.3(VIII).
34. THE WORDS "PIMA COUNTY SANITARY SEWER" SHALL BE IMPRINTED ONLY ON COVERS OF MANHOLES WHICH ARE TO BE PART OF THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION (PUBLIC) SANITARY SEWER CONVEYANCE SYSTEM. SEWER MANHOLE COVERS ON CONVEYANCE SYSTEMS TO BE OWNED AND OPERATED BY ANYONE OTHER THAN PIMA COUNTY SHALL HAVE CAST INTO THEM THE WORDS "PRIVATE SEWER."
35. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST OR RECONSTRUCT ALL SANITARY SEWER MANHOLES TO FINISHED GRADE. ALL FRAMES AND COVER ADJUSTMENTS ARE TO BE IN ACCORDANCE WITH PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (PCWRD) STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012) MANUAL, DETAIL RWRD 211, 212, 304 OR RWRD 305 (AS APPLICABLE) AND DETAIL RWRD 308. WHILE ADJUSTING THE MANHOLE TO FINISHED GRADE IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT FRAMES AND COVERS ARE CLEANED OF ANY AND ALL ATTACHED MATERIALS (ASPHALT, CONCRETE, ETC.) AND THAT ANY VENT HOLES ARE OPEN AND CLEAR OF OBSTRUCTIONS. IF THE FRAME AND COVER ARE DAMAGED OR CANNOT BE COMPLETELY CLEANED, A NEW FRAME AND COVER ARE TO BE PUT INTO PLACE. COSTS ASSOCIATED WITH THESE ACTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. REFER TO PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (PCWRD) STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (2012) MANUAL, DETAIL RWRD 213 - 218 FOR FRAME AND COVER REQUIREMENTS.
36. THIS PUBLIC SEWER IS DESIGNED AT MINIMUM ALLOWABLE PIPE SLOPE. SPECIAL CARE SHOULD BE TAKEN TO ASSURE DESIGN SLOPE IS MAINTAINED. SEWERS FOUND TO BE CONSTRUCTED AT INSUFFICIENT SLOPES WILL NOT BE ACCEPTED BY PCWRD AND/OR ADED. CORRECTIVE ACTION, INCLUDING RE-CONSTRUCTION OF THE SEWER(S) AT THE SOLE EXPENSE OF THE PROJECT OWNER/CONTRACTOR, WOULD BE REQUIRED. AS-BUILT PLANS SHALL BE REQUIRED FOR ALL NEW PUBLIC SEWERS PRIOR TO FINAL ACCEPTANCE.



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SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
 A PORTION OF SECTION 8 T15S R12E
 G14E SALT RIVER MERIDIAN
 PIMA COUNTY, ARIZONA
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106/PHASE 1
128 SEWER NOTES

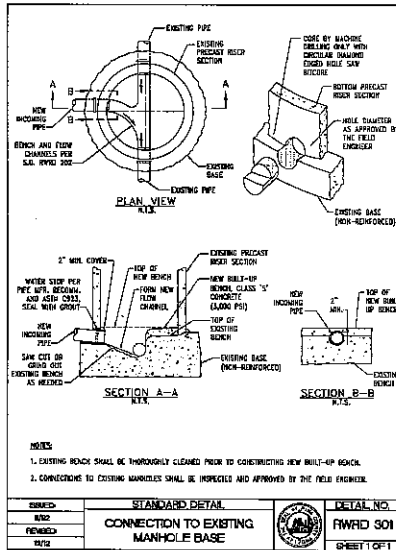


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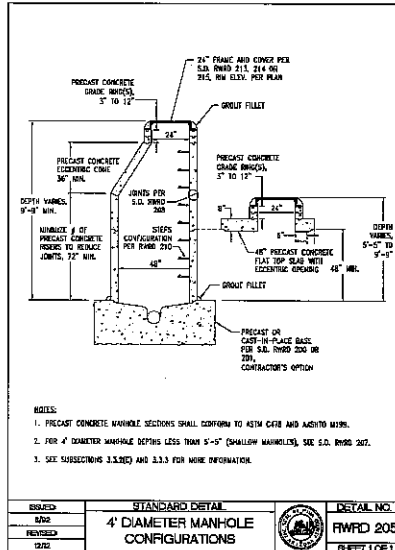
REVISION	DATE	DESCRIPTION	BY
Δ	02/01/16	REVISED PER BSD COMMENTS 01/29/16	DHR
Δ	04/19/16	REVISED SHEET NUMBERS	DHR
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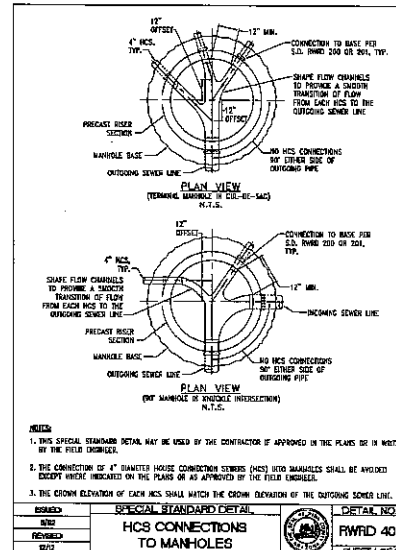
P155C00034 RevD
Approved 07/12/2016



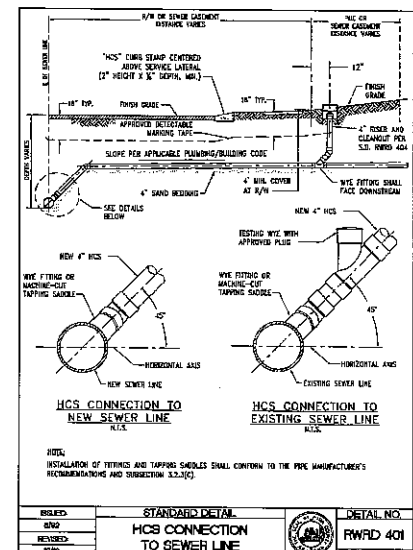
CONNECTION TO EXISTING MANHOLE DETAIL N.T.S.



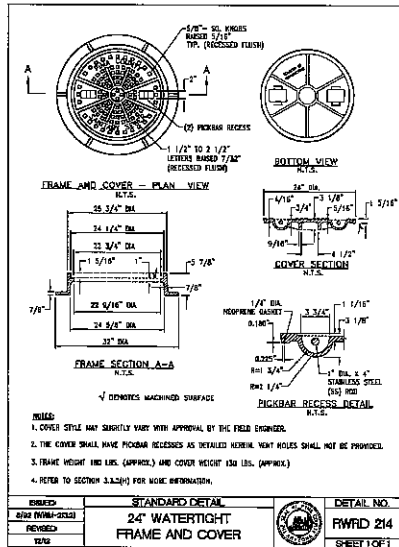
4' DIA. MANHOLE DETAIL N.T.S.



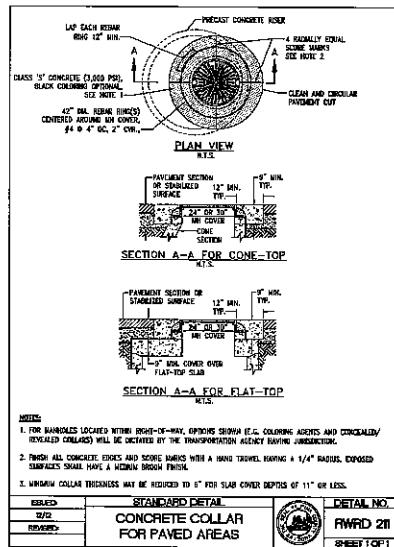
H.C.S. TO TERMINUS MANHOLE DETAIL N.T.S.



HOUSE CONNECTION SEWER DETAIL N.T.S.



WATER TIGHT MANHOLE DETAIL N.T.S.



CONCRETE COLLAR DETAIL N.T.S.



EXPIRES JUNE 30, 2016



REVISION	DATE	DESCRIPTION	BY
1	02/01/16	REVISED PER BSD COMMENTS 01/29/16	DWR
2	04/19/16	REVISED SHEET NUMBERS	DWR

G2015-098
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SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 T1SS RIZE
GILA & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA

**PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS**
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 SEWER DETAILS

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AS BUILT BY: APEX
DRAWN BY: DWR
CHK BY: DWR
PRD: 15-107
SHEET 5 OF 24



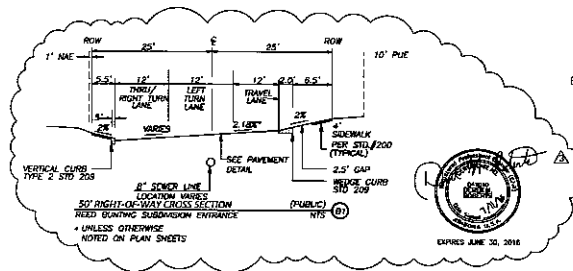
PAVING & GRADING NOTES

1. BASIS OF BEARINGS: THE WEST SECTION LINE OF SECTION 8, TOWNSHIP 15 SOUTH RANGE 12 EAST GASRM, PIMA COUNTY ARIZONA AS SHOWN ON FINAL PLAT OF SONORAN RANCH ESTATES II SUBDIVISION, AS RECORDED IN BOOK 60 PAGE 47 MAPS AND PLATS, PIMA COUNTY RECORDERS OFFICE, SAID BEARING BEING N 00°03'38"W.
2. BASIS OF ELEVATIONS: OPUS CONTROL POINT, PIMA COUNTY DESIGNATION NBP 86 A 2" BISM STRIPED (127/12/18 PCHD) IN VALENCIA ROAD, SAID ELEVATION BEING 2335.00, NAVD 88 DATUM.
3. DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
4. ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PIMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PC/COT SSP) 2003 EDITION, EXCEPT AS MODIFIED, SHOWN AND ACCEPTED BY DETAIL WITHIN THESE PLANS.
5. AGGREGATE BASE COURSE SHALL CONFORM TO PC/COT SSP #303.
6. ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT SSP #406. MIX NO. 2 (SUBDIVISION MIX 4.0% VOIDS) MIX NO. 2 (ARTERIAL MIX 5.5% VOIDS)
7. ALL CONCRETE SHALL COMPLY WITH PC/COT SSP SECTION 1006, CLASS S 3,000-PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
8. ALL WORK SHALL CONFORM TO THE PIMA COUNTY GRADING ORDINANCE, CHAPTER 18.91 OF PIMA COUNTY ZONING CODE.
9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE REGULATIONS.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
11. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY PIMA COUNTY DEVELOPMENT SERVICES PRIOR TO CONSTRUCTION.
12. A COPY OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ONSITE AT ALL TIMES DURING CONSTRUCTION.
13. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY PIMA COUNTY DEVELOPMENT SERVICES.
14. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
15. A REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO A REQUEST FOR FINAL INSPECTION/CERTIFICATION OF OCCUPANCY, RELEASE OF ASSURANCES OR MODULAR PERMITS.
16. NATIVE PLANTS MUST BE FLAGGED AND PROTECTIVE FENCING MUST BE INSTALLED AS REQUIRED BY THE NATIVE PLANT PRESERVATION PLAN PRIOR TO ANY GRADING ACTIVITY.
17. A RIGHT-OF-WAY PERMIT IS REQUIRED FOR CONSTRUCTION IN PUBLIC RIGHT-OF-WAY AND DRAINAGE WAYS.
18. ALL STREET SIGNING SHALL BE DESIGNED AND INSTALLED TO CURRENT PIMA COUNTY STANDARDS. THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE PC/COT DOT SIGNING MANUAL ARE TO BE THE REFERENCES FOR SIGNING DESIGN AND INSTALLATION.
19. WHEN REMOVED, EDGE LINE STRIPING (WSS) AT THE ENTRANCES OF THE DEVELOPMENT AND WHEREVER APPLICABLE, SHALL BE REINSTALLED TO CURRENT PC/COT DOT STANDARDS BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
20. ALL STREET STRIPING AND SIGNING WORK SHALL BE COORDINATED WITH THE PIMA COUNTY TRAFFIC ENGINEERING DIVISION (520-740-2801) PRIOR TO INSTALLATION AND BEFORE OPENING STREETS TO THE PUBLIC. ALL INSTALLATIONS THAT DO NOT MEET PIMA COUNTY STANDARDS SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
21. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, IN PARTICULAR, SHORING OF TRENCHES AND EXCAVATIONS.
22. CONTRACTOR SHALL ADJUST ALL WATER METERS, VALVE BOXES, STORM DRAIN MANHOLES, AND SEWER MANHOLES AND CLEAN OUTS TO FINISH GRADE. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE OTHER ITEMS OF WORK, EXCEPT WHEN THE BIDDING SCHEDULE CONTAINS SPECIFIC ITEMS ON A UNIT BASIS.
23. SOILS INFORMATION WILL BE MADE AVAILABLE TO PROSPECTIVE BIDDERS. CLIENT ACCEPTS NO RESPONSIBILITY FOR ANY CONDITIONS ENCOUNTERED WHICH VARY FROM THE INFORMATION PROVIDED.
24. THE DESIGN VEHICLE IS WB-40.
25. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER AND NO HIGHER THAN 5 FEET, UNLESS SPECIFIED BY DETAIL WITHIN THESE APPROVED PLANS.
26. ENGINEER HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. ENGINEER FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE REPORT FOR THIS PROJECT.

27. THE PAVEMENT STRUCTURAL SECTIONS ARE FROM THE PAVEMENT DESIGN SUMMARY REPORT DATED
28. EXISTING CONDITIONS SHOWN ON PLAN SHEETS REFLECT CONDITIONS AS OF JULY, 2015.
29. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH HAIL, AND APPLY ALL WATER REQUIRED FOR COMPACTION, AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST FOR THIS WORK IS TO BE INCLUDED IN THE SEWER CONSTRUCTION PRICE.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER. THERE IS AN EXISTING IRRIGATION SYSTEM THAT WILL BE IMPACTED. A SITE VISIT IS RECOMMENDED PRIOR TO BIDDING.
31. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
32. ANY EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM PROJECT SITE BY THE CONTRACTOR.
33. ALL SURVEY MONUMENTS SHALL BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA, AND A RECORD OF SURVEY WILL BE PROVIDED.
34. DETENTION BASIN 1 SHALL BE CLEANED AND CERTIFIED PRIOR TO THE FINAL PHASE OF THE PROJECT.
35. THE POSTED SPEED OF VALENCIA IS 45 MPH.

QUANTITIES

CUT: 4,227 CY
 FILL: 5,318 CY
 NOTE: NO SHRINK OR SWELL QUANTITY HAS BEEN APPLIED.



BENCHMARK

Pima County Department of Transportation
 Survey Section - 012 | 4 Maple Hill Village, Phoenix 85011-0208
 GPS Occupation Sheet
 P10 - MGP 0156

Unit/SN: 127588 Project Title: G2015-098 Station ID/Name: 15512E_101
 Section: 1 15 S.R. 17 E. Gila Salt River Meridian, Pima County, Arizona 140P 60
 Prepared By: M. SOUTHWELL Date: 4/10/16 Day of Year / Section: 100-0

Starting Time: 7:15 AM Ending Time: 9:28 AM

CHECK BOX and ENTER HI CHECK BOX and ENTER HI
 Hook on 4800 using Trimble Tape Hook on 4800 using Trimble Tape
 Fixed Height Tripod Fixed Height Tripod
 Pocket Tape measured to BASE Antenna Pocket Tape measured to BASE Antenna
 Center of Bumper: Slant measurement Center of Bumper: Slant measurement

HI = 1.800 Meters and also HI = 5.905 FEET or 0 INCHES
 HI = 1.800 Meters and also HI = 5.905 FEET or 0 INCHES
 PIMA COUNTY DOES NOT WARRANT THIS MEASUREMENT AS A LAND CORNER OF THE PUBLIC LAND SURVEY SYSTEM. IT IS THE RESPONSIBILITY OF THE USER TO VALIDATE THIS MONUMENT.

Reference: PIMA COUNTY SURVEY DESIGNATION - MGP 60
 P10 - MGP 0156
 POINT MEASURED IS A 2" BISM STRIPED
 127
 151B
 PCHD

Measure TOP of Marker: 8.86 ± ABOVE ± or BELOW - 5.7' ± NATURAL GROUND

ELEVATION REPORTED AT BENCHMARK IS 2435.00 NAVD 88.

G2015-098
 P155C00034

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
 A PORTION OF SECTION 8 T15S R12E
 GILA & SALT RIVER MERIDIAN
 PIMA COUNTY, ARIZONA

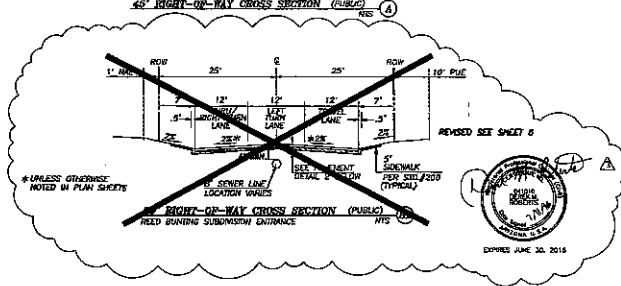
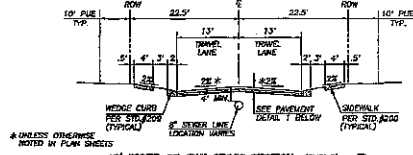
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 PAVING AND GRADING NOTES

REVISION	DATE	DESCRIPTION	BY
Δ	02/01/16	REVISED PER BSD COMMENTS 01/29/16	DHR
Δ	04/19/16	REVISED SHEET NUMBERS ADDED 80, 105, 106 TO 78	DHR
Δ	07/11/16	REVISED REEB BLUNTING ENTRY CROSS SECTION	DHR
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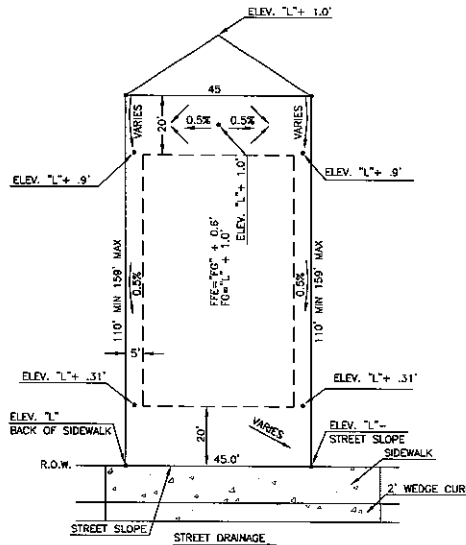


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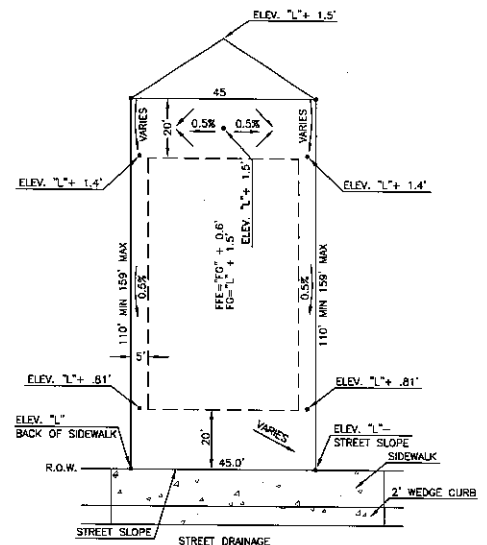
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STREET SECTIONS
N.T.S.



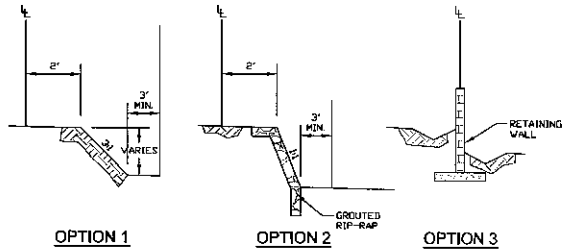
"A" LOT DRAINAGE DETAIL
N.T.S.



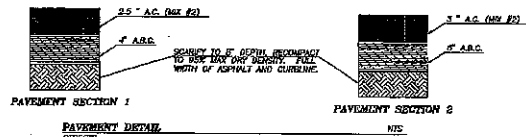
"B" LOT DRAINAGE DETAIL
N.T.S.

"C" LOT NOTE

C LOTS ARE TO REMAIN IN THEIR AS-BUILT CONDITIONS.

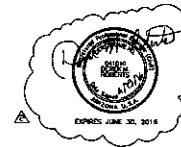


NOTES:
 THE DEVELOPER WILL EMPLOY ONE OF THESE THREE OPTIONS ON A CASE BY CASE BASIS AS HOUSES ARE CONSTRUCTED THE OPTION WILL BE SHOWN ON THE HOUSE SITE PLAN.
 CUTS AND FILLS OUTSIDE OF THE INTERNAL LOTS:
 LESS THAN AND EQUAL TO 3:1-RC VEGETATE
 GREATER THAN 3:1 TO 1.5:1 SHALL BE HAND PLACED RIP-RAP ON FILTER FABRIC
 GREATER THAN 1.5:1 TO 1:1 SHALL BE 6" GROUTED BED WITH 6" EMBEDDED ROCK ON 6" SPLITSTONE WITH 1X1 TOP IN AT TOP AND BOTTOM
 FOR SLOPES GREATER THAN 5' HIGH-6"x6" WIRE MESH SHALL BE ADDED



PAVEMENT SECTIONS
N.T.S.

REVISION	DATE	DESCRIPTION	BY
Δ	02/01/16	REVISED PER RSD COMMENTS 02/20/16	DHR
Δ	04/19/16	REVISED SHEET NUMBERS AND INDEX ADDED LOTS 60, 105 & 106 TO PHASE	DHR
Δ	07/11/16	REVISED REED BUNTING ENTRY CROSS SECTION	DHR
Δ			
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SONORAN RANCH ESTATES II
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LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106/PHASE 1
128 GRADING DETAILS

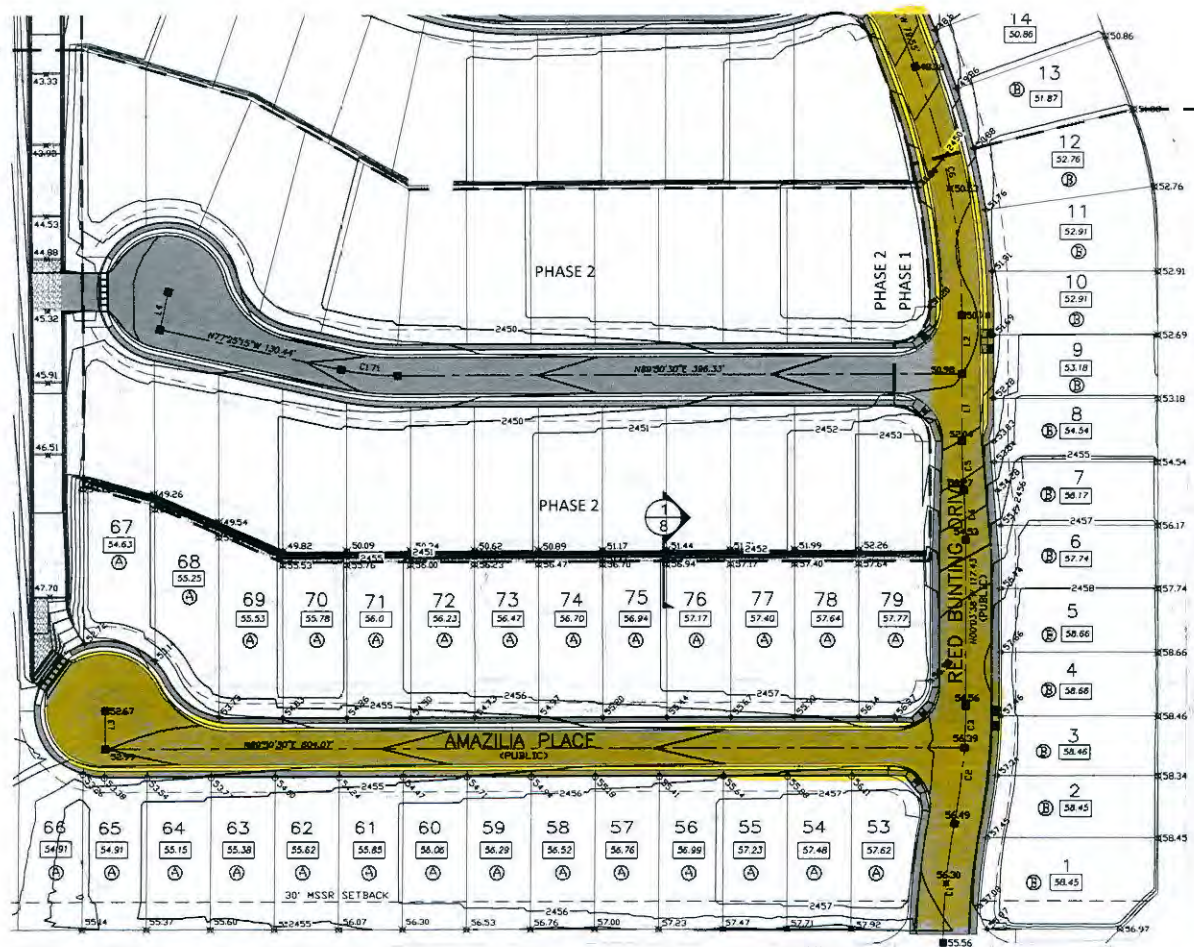


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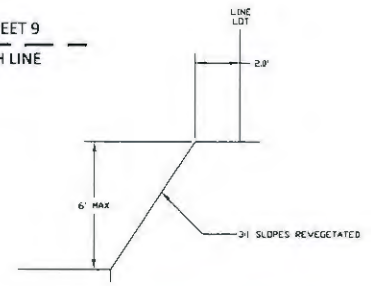
1440 W CANYON SHADOWS LN ORO VALLEY AZ 85137
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P155C00034 Rev3
ADD DATE 01/19/16



SEE SHEET 9
MATCH LINE



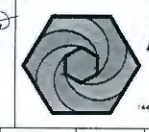
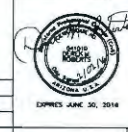
SECTION 1
PHASE 1



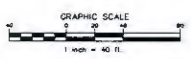
PHASE NOTE:
CHANNEL 5 TO BE BUILT AS PART OF PHASE 1

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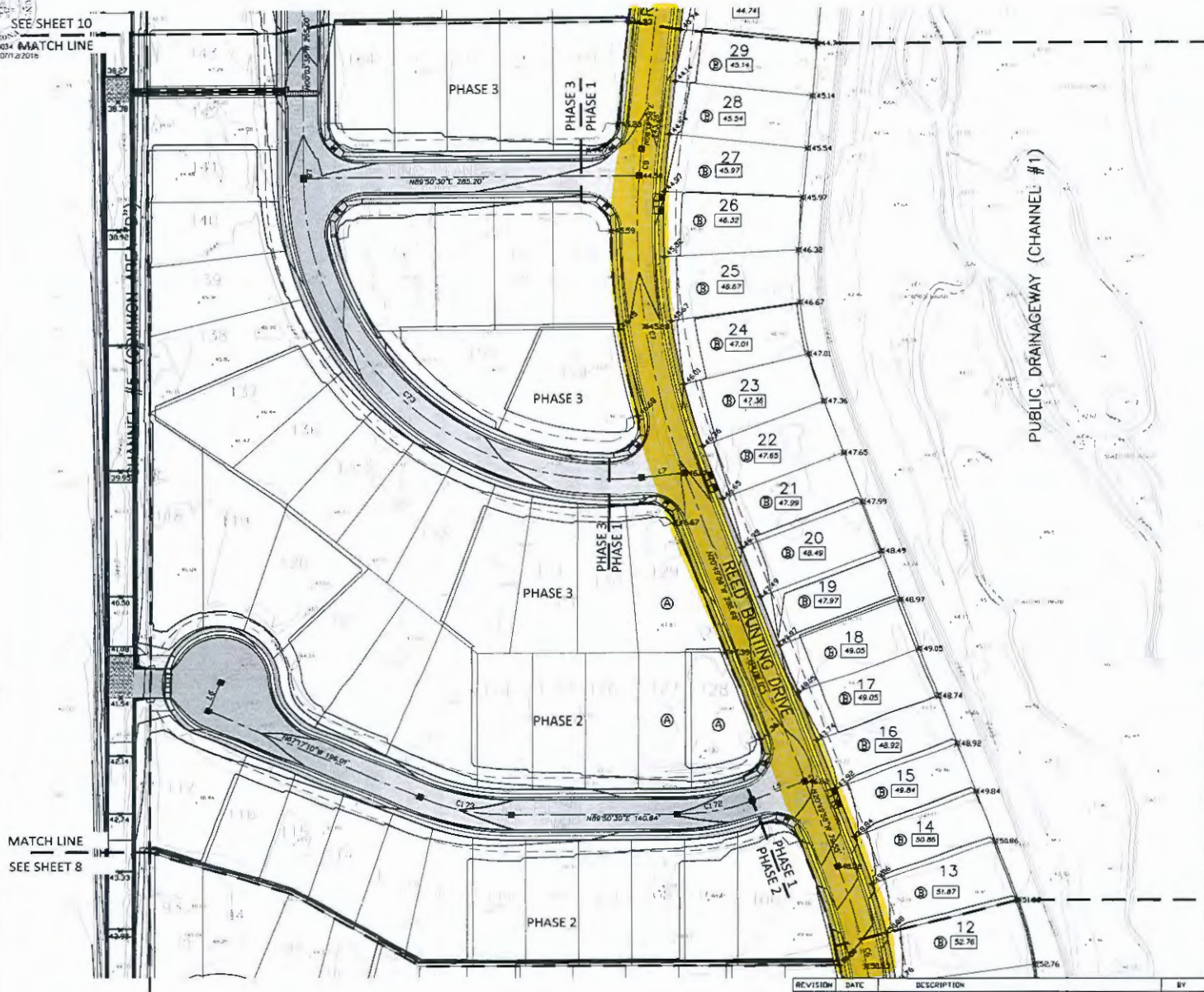
REVISION	DATE	DESCRIPTION	BY
1	2/1/16	REVISED FRONT LOT GRADES 53-66/REVISED SEC 1	DHR
2	04/19/16	REVISED SHEET NUMBERS AND INDEX ADDED 80, 105 & 106 TO PHASE	DHR
3			
4			

AS BUILT BY: APEX DRAWN BY: DHR CHK BY: DHR PROJ: 15-107 SHEET 8 OF 24



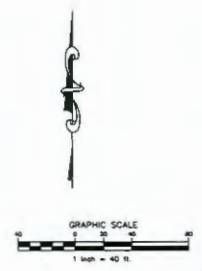
SEE SHEET 10

P155C00034 MATCH LINE
Approved DPA 12/2016



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	86.72'	600.00'	102°19'	43.48'
C2	56.21'	484.17'	64°32'	28.39'
C3	50.00'	484.17'	73°30'	15.01'
C4	35.01'	490.63'	49°27'	17.52'
C5	35.01'	490.63'	49°27'	17.52'
C6	181.27'	500.00'	20°46'	31.42'
C7	261.06'	600.00'	22°55'	52.63'
C8	24.41'	600.00'	23°50'	11.71'
C9	47.87'	1000.00'	24°52'	23.84'
C10	57.87'	1000.00'	27°25'	28.79'
C11	32.12'	500.00'	69°01'	16.07'
C12	32.60'	500.00'	63°16'	16.22'

LINE TABLE		
LINE	LENGTH	BEARING
L1	47.58'	N50°11'39"W
L2	41.62'	S60°03'38"W
L3	27.50'	N00°02'30"W
L4	27.50'	N72°34'54"W
L5	47.50'	S69°10'24"W
L6	27.50'	N2°52'50"E
L7	36.63'	S84°10'04"E
L8	50.81'	N00°02'30"W
L9	27.50'	N00°02'30"W
L10	27.50'	N12°34'52"E
L11	27.50'	N14°09'02"E



PHASE NOTE:
CHANNEL 5 TO BE BUILT AS PART OF PHASE 1

G2015-098
P155C00034

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
 A PORTION OF SECTION 8 T1S R12E
 GILA & SALT RIVER MERIDIAN
 PIMA COUNTY, ARIZONA

PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 GRADING PLAN



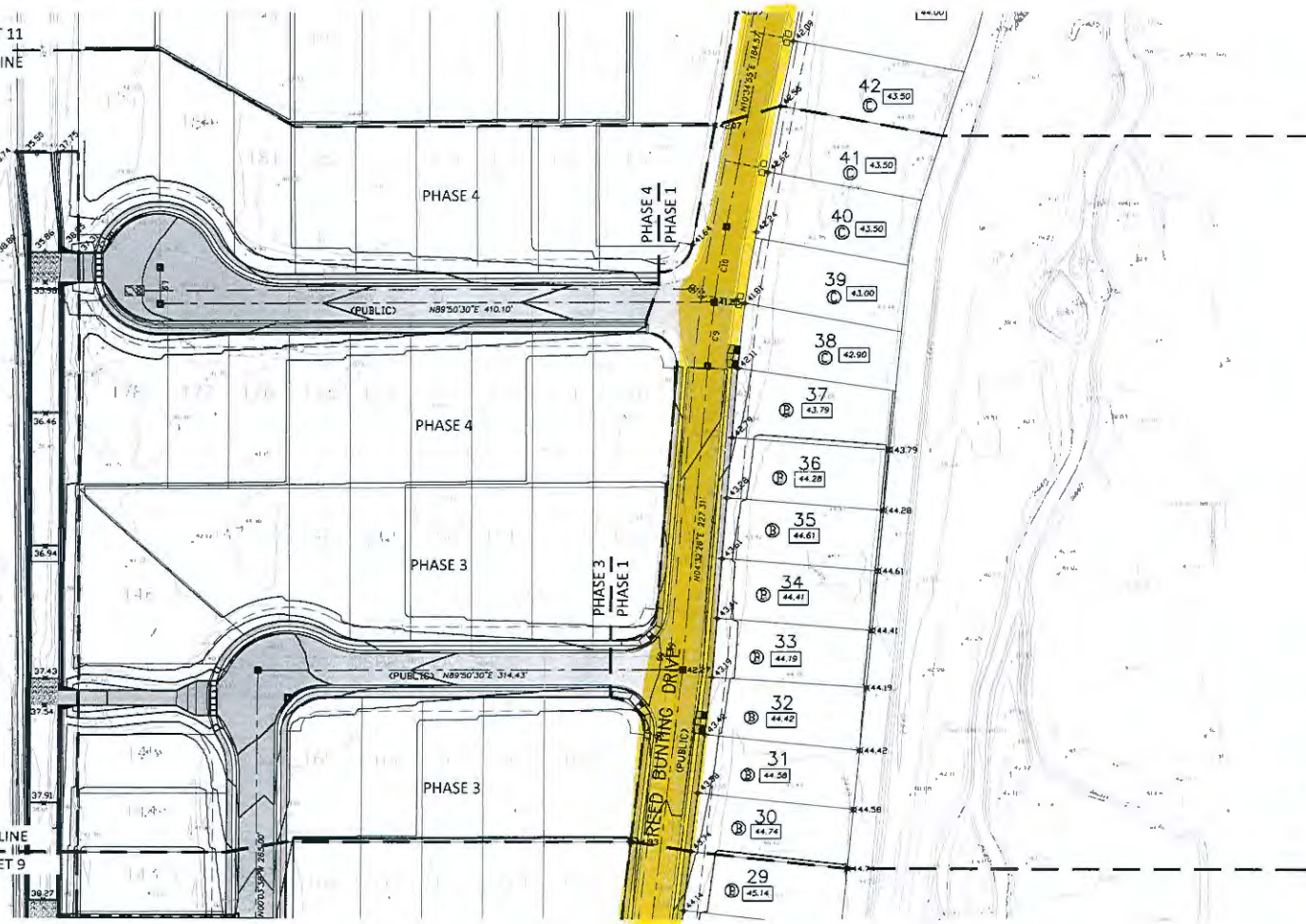
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 PH: (520) 875-7876 www.allianceeng.com

REVISION	DATE	DESCRIPTION	BY
1	04/19/16	REVISED SHEET NUMBERS AND INDEX ADDED 60, 105 & 106 TO PHASE	DHR

AS BUILT BY: APCK DRAWN BY: DHR CHK BY: DHR PROJ: 15-107 **SHEET 9 OF 23**

SEE SHEET 11
MATCH LINE

MATCH LINE
SEE SHEET 9





PHASE NOTE:
 CHANNEL 5 TO BE BUILT AS PART OF PHASE 1

G2015-098
P155C00034

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
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PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 GRADING PLAN



REVISION	DATE	DESCRIPTION	BY
△	2/1/16	ADDED LOTS 38-42 PAD GRADES	DHR
△	04/19/16	REVISED SHEET NUMBERS AND INDEX ADDED 80, 105 & 106 TO PHASE	DHR
△			
△			



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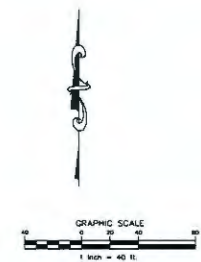
AS BUILT BY: APEX
 DRWN BY: DHR
 CHK BY: DHR
 PROJ: 15-187
SHEET 10 OF 23



P15SC00034 Rev3
Approved 07/12/2016



MATCH LINE
SEE SHEET 10



Call or Email for full working copy
before you begin construction.
ARIZONA 811
Private Site Data, Inc.
One Day or Under 10 Minutes (900-850-8500)
in Maricopa County (602) 252-1108
G2015-098
P15SC00034

PHASE NOTE:
CHANNEL 5 TO BE BUILT AS PART OF PHASE 1

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 T15S R12E
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PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 GRADING PLAN

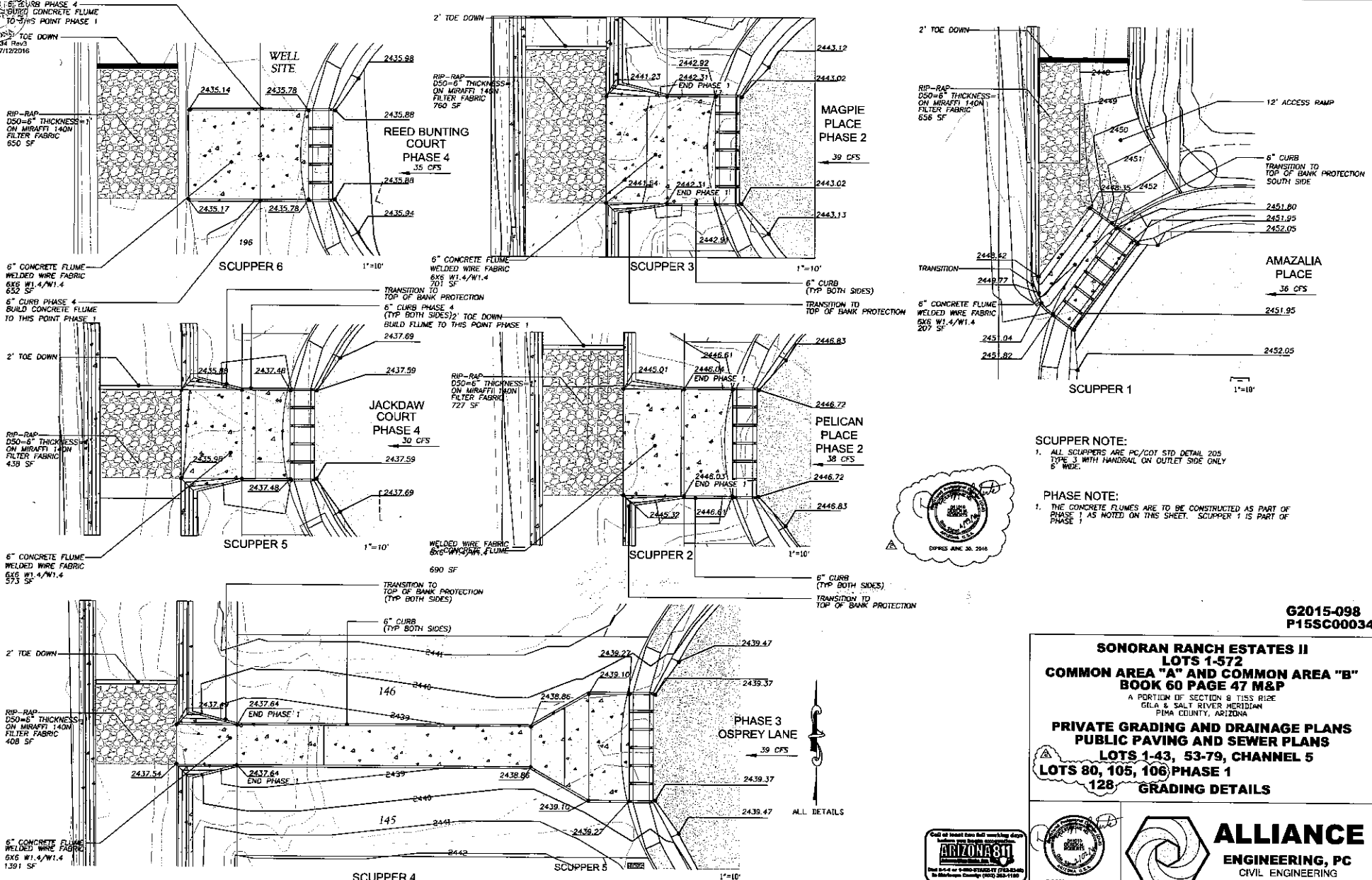


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REVISION	DATE	DESCRIPTION	BY
△	2/1/16	ADDED LOT 40-43 PAD GRADES	DHR
△	04/19/16	REVISED SHEET NUMBERS AND INDEX ADDED 88, 105 & 106 TO PHASE	DHR
△			
△			

AS BUILT BY: APEX DRWN BY: DHR CHK BY: DHR PROJ: 15-107 **SHEET 11 OF 23**

PHASE 4
 2' TOE DOWN
 BUILD CONCRETE FLUME
 TO THIS POINT PHASE 1
 7/16/05 TOE DOWN
 P155C00034 Rev3
 Approved 07/12/2016



- SCUPPER NOTE:**
1. ALL SCUPPERS ARE PC/COT STD DETAIL 205 TYPE 3 WITH HANDRAIL ON OUTLET SIDE ONLY 6" WIDE.
- PHASE NOTE:**
1. THE CONCRETE FLUMES ARE TO BE CONSTRUCTED AS PART OF PHASE 1 AS NOTED ON THIS SHEET. SCUPPER 1 IS PART OF PHASE 1

G2015-098
 P155C00034

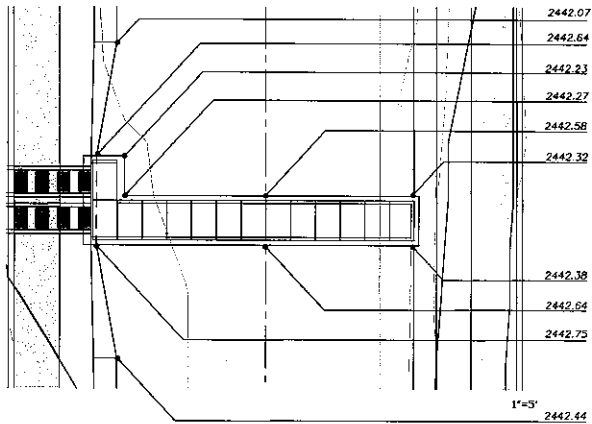
SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
 A PORTION OF SECTION 8 T1SS RIZE
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PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 GRADING DETAILS

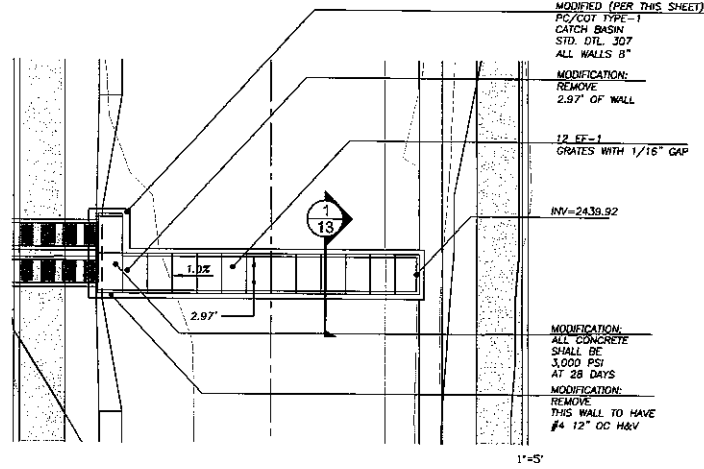
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REVISION	DATE	DESCRIPTION	BY
1	04/15/16	REVISED SHEET NUMBERS AND INDEX ADDED 80, 105 & 106 TO PHASE	DMR

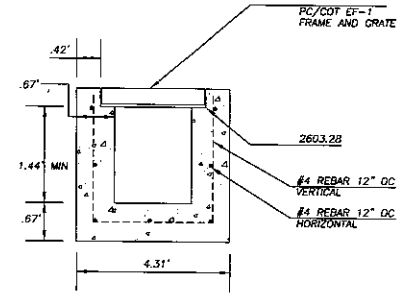
AS BUILT BY: APEX
 DRWN BY: DMR
 CHK BY: DMR
 PROJ: 15-107



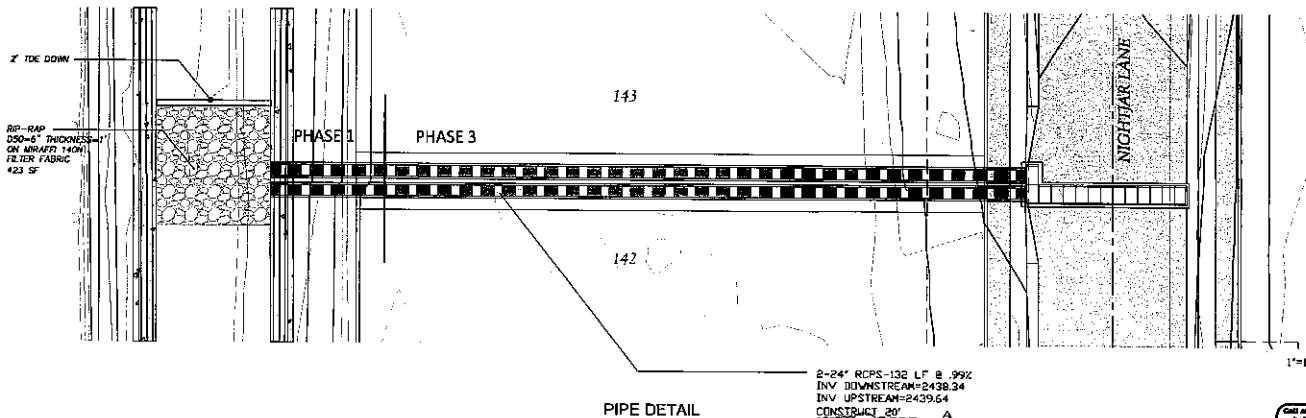
INLET ELEVATION DETAIL
PHASE 3



INLET STANDARDS DETAIL
PHASE 3



SECTION 1
PHASE 3



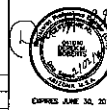
PIPE DETAIL

2-24" RCPS-132 LF @ .99%
 INV. DOWNSTREAM=2438.24
 INV. UPSTREAM=2439.64
 CONSTRUCT 30'
 PHASE 4 PHASE 2
 CONSTRUCT RIP-RAP PHASE 1



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SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
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 A PORTION OF SECTION 8 TISS RISE
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PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 GRADING DETAILS



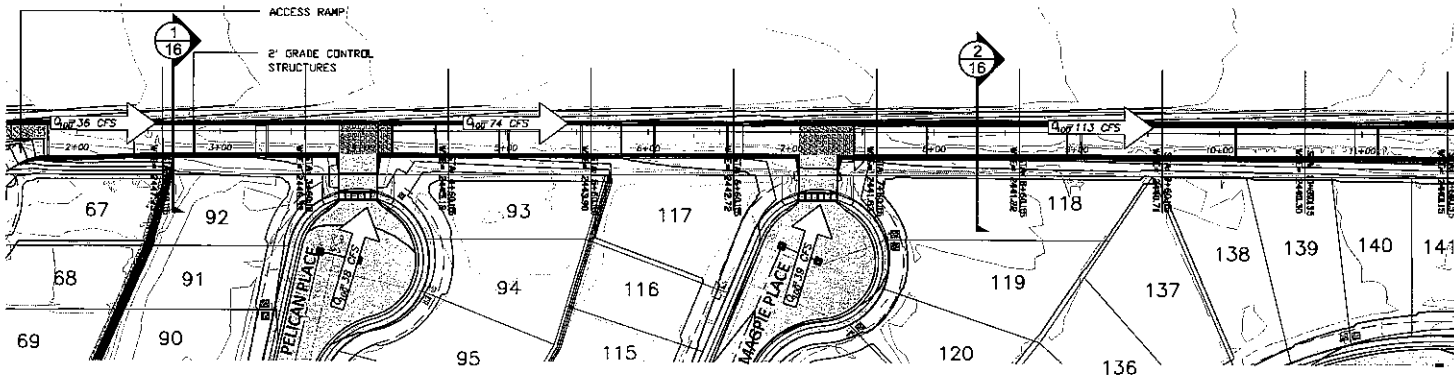
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REVISION	DATE	DESCRIPTION	BY
1	04/19/16	REVISED SHEET NUMBERS ADDED LOTS REV PIPE DETAIL	DMR



P155C00034 Rev3
Approved 07/12/2016



PHASE NOTE:
ALL OF CHANNEL 5 IS TO BE CONSTRUCTED AS PART OF PHASE 1 WITH TRANSITIONS TO THE FUTURE SCUPPERS AS SHOWN ON SHEET 13

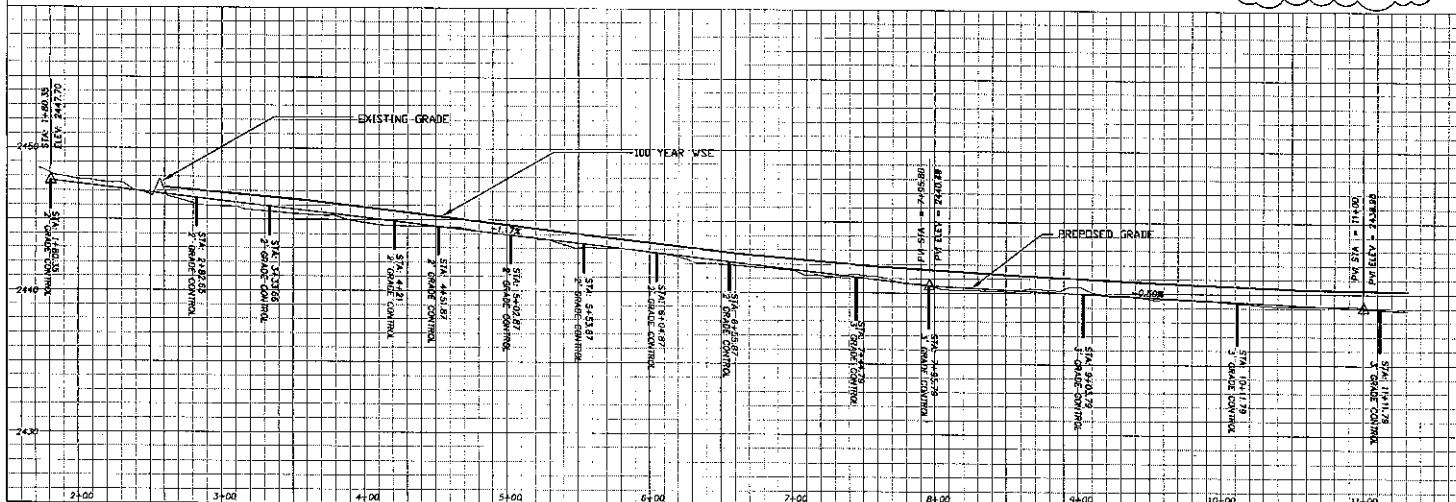
1"=40'

CHANNEL 5
STA 1+00 - STA 11+00

GRADE CONTROL NOTE:
ALL GRADE CONTROL WIDTHS TO BE 1'

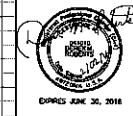


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REVISION	DATE	DESCRIPTION	BY
1	04/19/16	REVISED SHEET NUMBERS ADDED LOTS AND GRD CONT NOTE	DHR

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 T155 R12C
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PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 CHANNEL 5 PROFILE

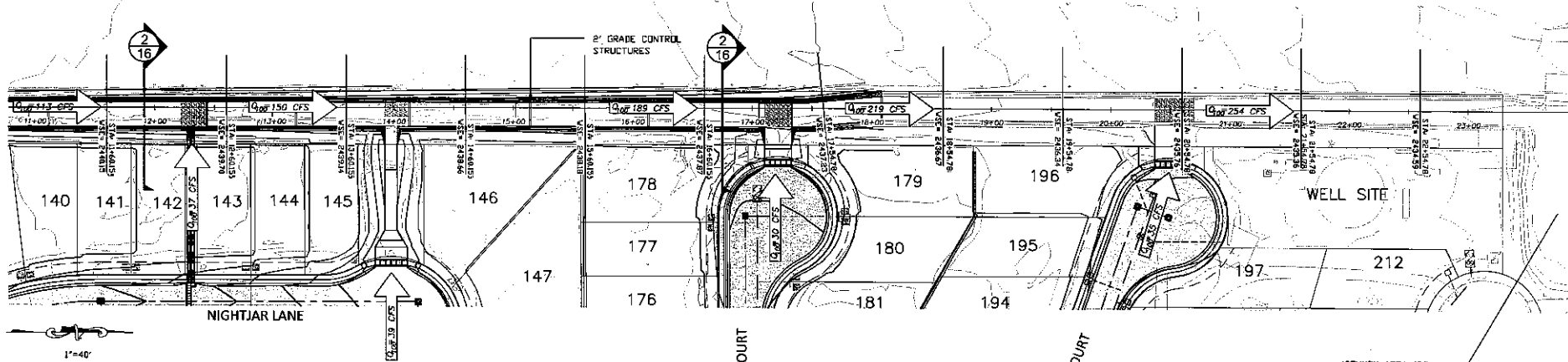


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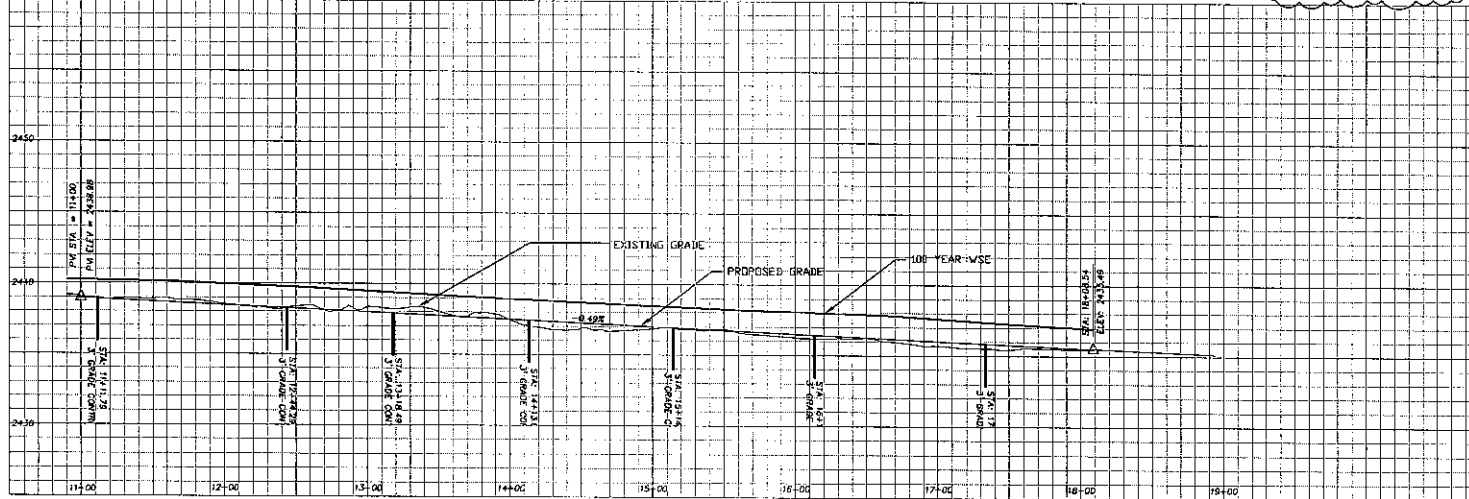
PHASE NOTE:
ALL OF CHANNEL 5 IS TO BE CONSTRUCTED AS PART OF PHASE I WITH TRANSITIONS TO THE FUTURE SCUPPERS AS SHOWN ON SHEET 13

CHANNEL 5
STA 11+00 - STA 19+50

GRADE CONTROL NOTE:
ALL GRADE CONTROL WIDTHS TO BE 1'



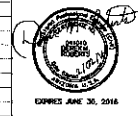
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P155C00034



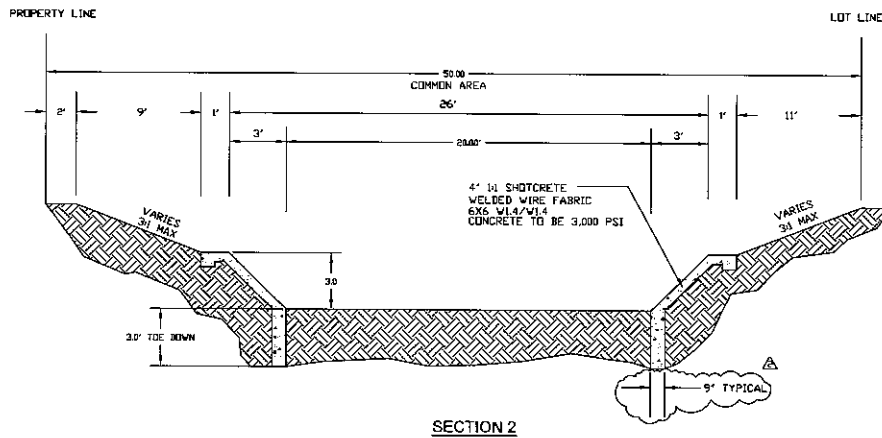
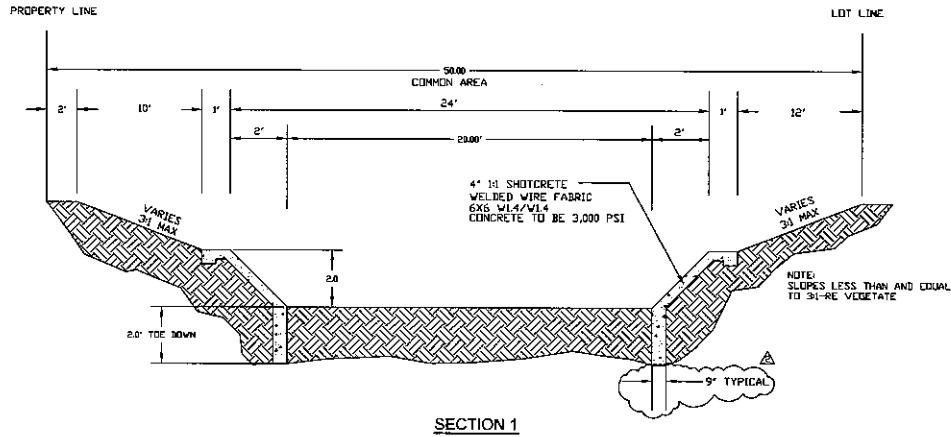
REVISION	DATE	DESCRIPTION	BY
1	2/1/16	DSD 01/29/16 COMMENTS	DHR
2	04/19/16	REVISED SHEET NUMBERS ADDED LOTS & GRD CON NOTE	DHR

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 T15S R12E
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PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 CHANNEL 5 PROFILE



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100 YR FLOOD ELEVATION TABLE

LOT	EXIST. ELEV.	BASE FLOOD	FIN PAD	AS BUILT FFE
1	540	551	554.5	554.5
2	545	542	554.5	554.5
3	530	536	554.5	554.5
4	527	532	554.5	554.5
5	523	529	554.5	554.5
6	519	525	554.5	554.5
7	514	521	554.5	554.5
8	510	516	554.5	554.5
9	505	511	554.5	554.5
10	501	507	554.5	554.5
11	495	501	554.5	554.5
12	489	494	554.5	554.5
13	483	488	554.5	554.5
14	477	480	554.5	554.5
15	472	477	554.5	554.5
16	468	474	554.5	554.5
17	463	471	554.5	554.5
18	457	466	554.5	554.5
19	458	463	554.5	554.5
20	454	457	554.5	554.5
21	450	455	554.5	554.5
22	447	452	554.5	554.5
23	443	451	554.5	554.5
24	439	448	554.5	554.5
25	438	447	554.5	554.5
26	434	445	554.5	554.5
27	430	441	554.5	554.5
28	428	440	554.5	554.5
29	424	437	554.5	554.5
30	421	431	554.5	554.5
31	418	427	554.5	554.5
32	415	424	554.5	554.5
33	411	419	554.5	554.5
34	409	415	554.5	554.5
35	404	414	554.5	554.5
36	400	410	554.5	554.5
37	395	408	554.5	554.5
38	391	399	554.5	554.5
39	390	397	554.5	554.5
40	382	395	554.5	554.5
41	380	394	554.5	554.5
42	375	392	554.5	554.5
43	370	393	554.5	554.5
44	375	393	554.5	554.5
45	340	399	554.5	554.5
46	342	400	554.5	554.5
47	345	403	554.5	554.5
48	344	404	554.5	554.5
49	342	404	554.5	554.5
50	340	404	554.5	554.5
51	339	405	554.5	554.5
52	339	405	554.5	554.5
53	338	406	554.5	554.5
54	332	407	554.5	554.5
55	335	407	554.5	554.5
56	330	409	554.5	554.5
57	314	418	554.5	554.5

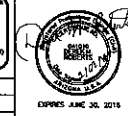
FLOODPLAIN NOTES

- THIS PROJECT WAS SUBJECT TO FLOOD PLAIN USE PERMIT NUMBER 05-854.
- NO FLOODPLAIN USE PERMIT IS REQUIRED IF LDRR IS APPROVED.
- NO CHANGES TO ORIGINALLY APPROVED HYDROLOGY FROM MAY 2005 ARE PROPOSED BY THESE PLANS.
- CHANNEL 5 HAS BEEN RE-ORIENTED BASED ON THE CNG APPROVED DRAINAGE AMENDMENT FROM MARCH 2005 CONCEPT TO ALLOW ACCESS TO THE DRAINAGE CHANNEL FROM AMAZILIA PLACE AND TO ELIMINATE RETAINING WALLS ON EITHER SIDE OF THE CHANNEL. THE GEOMETRIC CONFIGURATION (WIDTH) REMAINS THE SAME.
- THE WATER SURFACE ELEVATIONS SHOWN ON THIS PROFILE REPRESENT A NEW ANALYSIS OF THE PROPOSED AMENDED CHANNEL AND THE EXISTING AS-BUILT CHANNEL COMBINED ALONG WITH THE ACCEPTED 100 YEAR WATER SURFACE ELEVATION OF DETENTION BASIN #1.



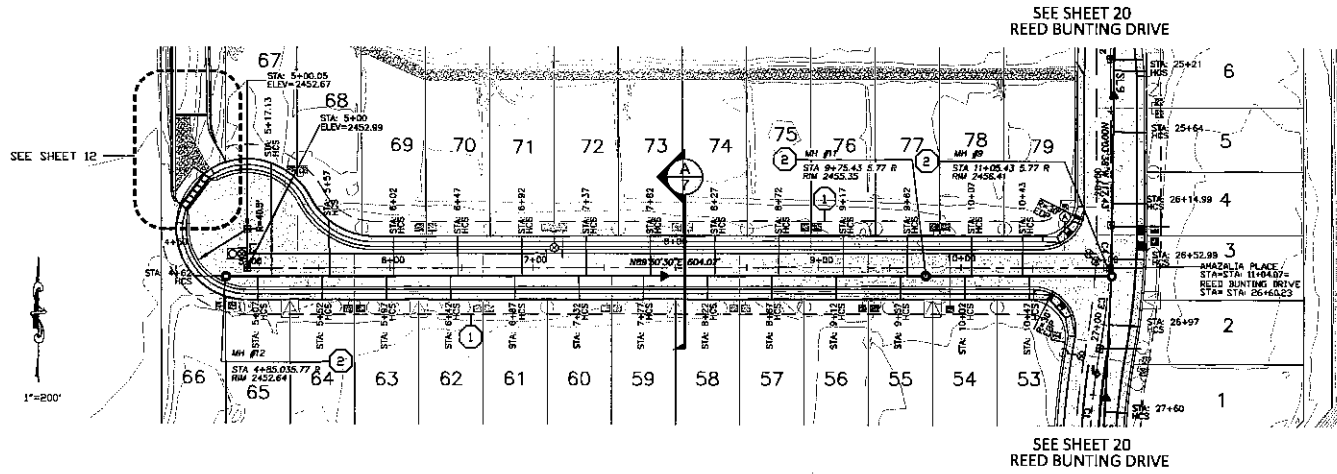
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P155C00034

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
 A PORTION OF SECTION 8 TISS RIZE
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 PIMA COUNTY, ARIZONA
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 GRADING DETAILS



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REVISION	DATE	DESCRIPTION	BY
▲	2/1/16	REVISED CROSS SECTION DIMENSIONS	DNR
▲	04/19/16	REVISED SHEET NUMBERS ADDED LOTS & TOE DOWN WIDTH	DNR
▲			
▲			



KEYNOTES

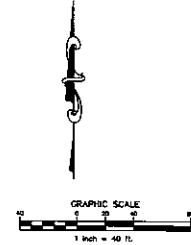
- 1 10' UTILITY EASEMENT
- 2 MH PER RWRD 205 CONCRETE COLLAR PER RWRD 211

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	65.72	400.00	10°21'07"
C3	55.71	483.17	6°49'28"
C4	30.01	483.17	3°33'20"
C5	33.63	496.62	4°06'27"
C6	35.03	496.62	4°09'27"
C7	181.27	500.00	20°46'19"
C8	261.06	600.00	24°55'47"
C9	25.41	600.00	3°14'07"
C10	47.87	1000.00	2°44'24"
C11	57.57	1000.00	3°17'55"
C12	32.12	360.00	6°08'01"
C13	68.79	200.00	10°42'22"
C14	63.31	181.00	20°40'25"
C15	75.84	200.00	22°36'20"

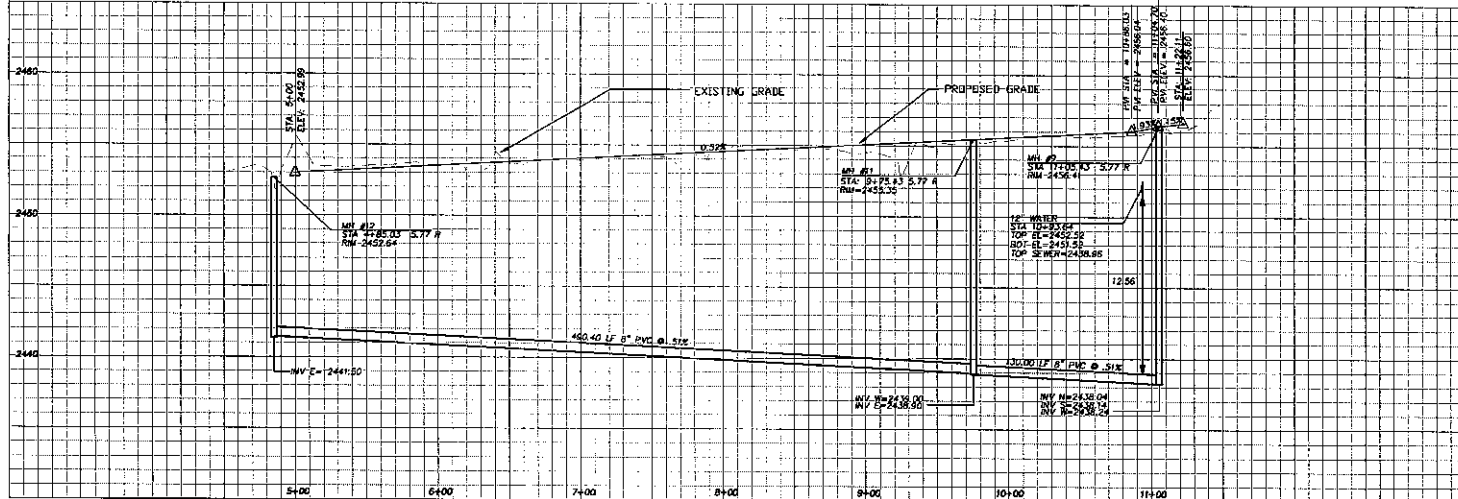
LINE TABLE

LINE	LENGTH	BEARING
L1	4756	N00°07'38"W
L2	4162	N00°03'28"W
L3	2750	S00°00'38"E
L4	2750	N09°26'20"E
L5	2750	N00°09'20"W
L6	2662	S04°10'54"W
L7	4756	N09°02'04"E
L8	2750	N02°48'50"E
L9	2750	N02°34'45"E



**G2015-098
 P155C00034**

AMAZILIA PLACE
 STA 5+00 - STA 11+04.07



REVISION

REVISION	DATE	DESCRIPTION	BY
1	2/1/16	BSD DL/29/16 COMMENTS	DHR
2	04/19/16	REVISED SHEET NUMBERS ADDED LOTS 80, 105, & 106	DHR

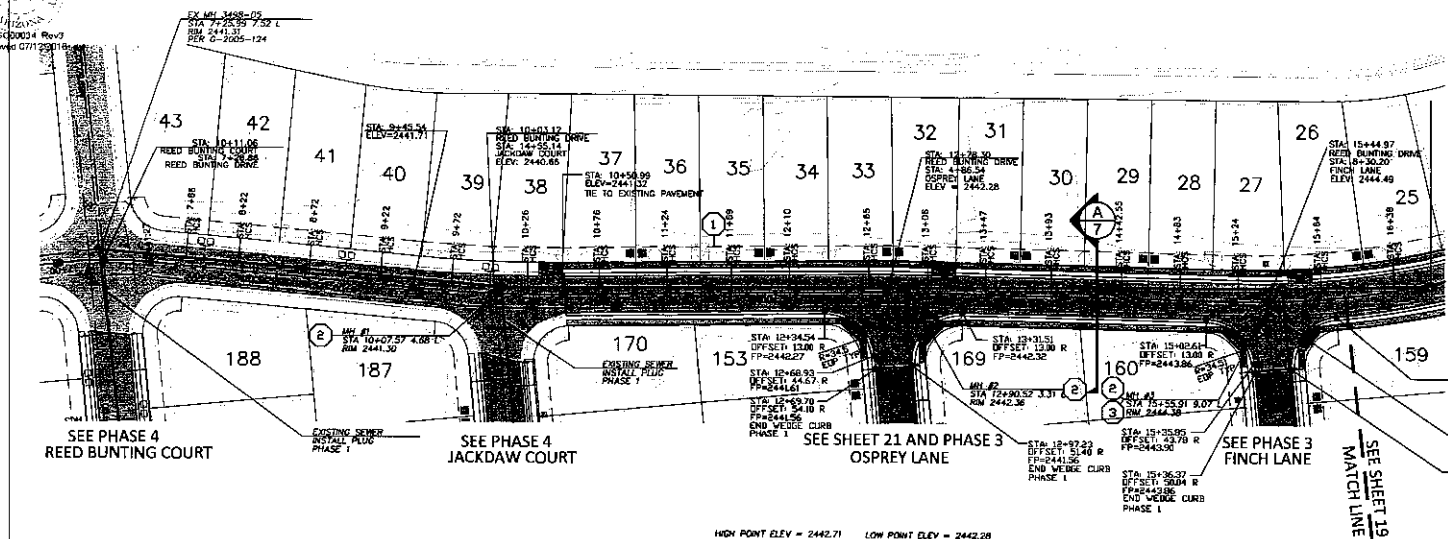
**SONORAN RANCH ESTATES II
 LOTS 1-572
 COMMON AREA "A" AND COMMON AREA "B"
 BOOK 60 PAGE 47 M&P**
 A PORTION OF SECTION 8 T1SS R12C
 GILA & SALT RIVER MERIDIAN
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**PRIVATE GRADING AND DRAINAGE PLANS
 PUBLIC PAVING AND SEWER PLANS
 LOTS 1-43, 53-79, CHANNEL 5
 LOTS 80, 105, 106 PHASE 1
 128 PROFILES**



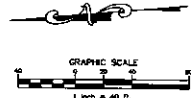


P155C00034 Rev'd
Approved 07/12/2016



KEYNOTES

- ① 10' UTILITY EASEMENT
- ② MH PER RWRD 205
CONCRETE COLLAR PER RWRD 211
- ③ WATER TIGHT MANHOLE
PER RWRD 214

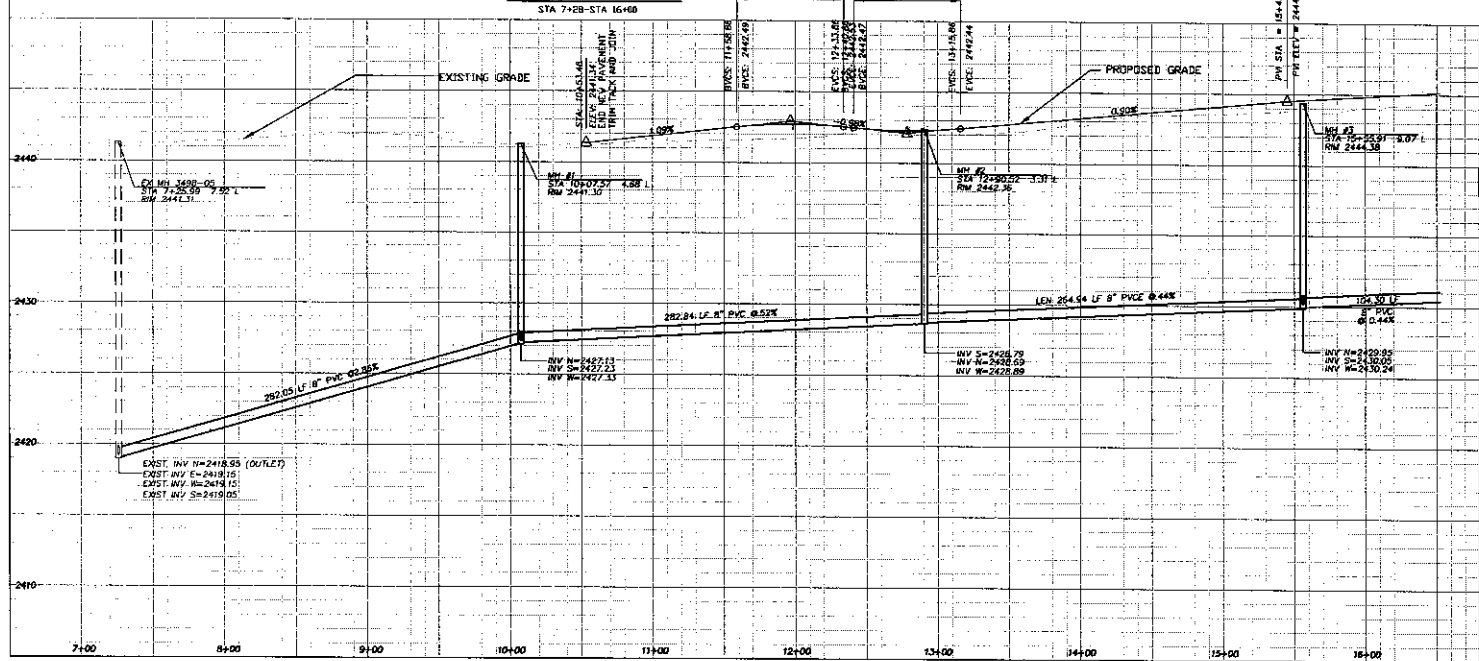


SEWER LINE TABLE		
LINE	LENGTH	BEARING
S/L1	282.05	S10°20'43"V
S/L2	282.84	S05°05'08"V
S/L3	264.94	N04°38'45"E
S/L4	104.90	N03°39'45"E

HIGH POINT ELEV = 2442.71
HIGH POINT STA = 11+58.47
PVI STA = 11+06.36
PVI ELEV = 2442.90
A.D. = -2.07
K = 36.28

LOW POINT ELEV = 2442.28
LOW POINT STA = 12+79.87
PVI STA = 12+76.36
PVI ELEV = 2442.10
A.D. = 1.89
K = 39.99

REED BUNTING DRIVE
STA 7+58-STA 16+60



G2015-098
P155C00034



REVISION	DATE	DESCRIPTION	BY
Δ	2/1/16	ISSUED 02/29/16 EDWARDS	DMR
Δ	04/29/16	REVISED SHEET NUMBERS ADDED LOTS 80, 105, & 106	DMR

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 T1SS RISE
GILA & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA

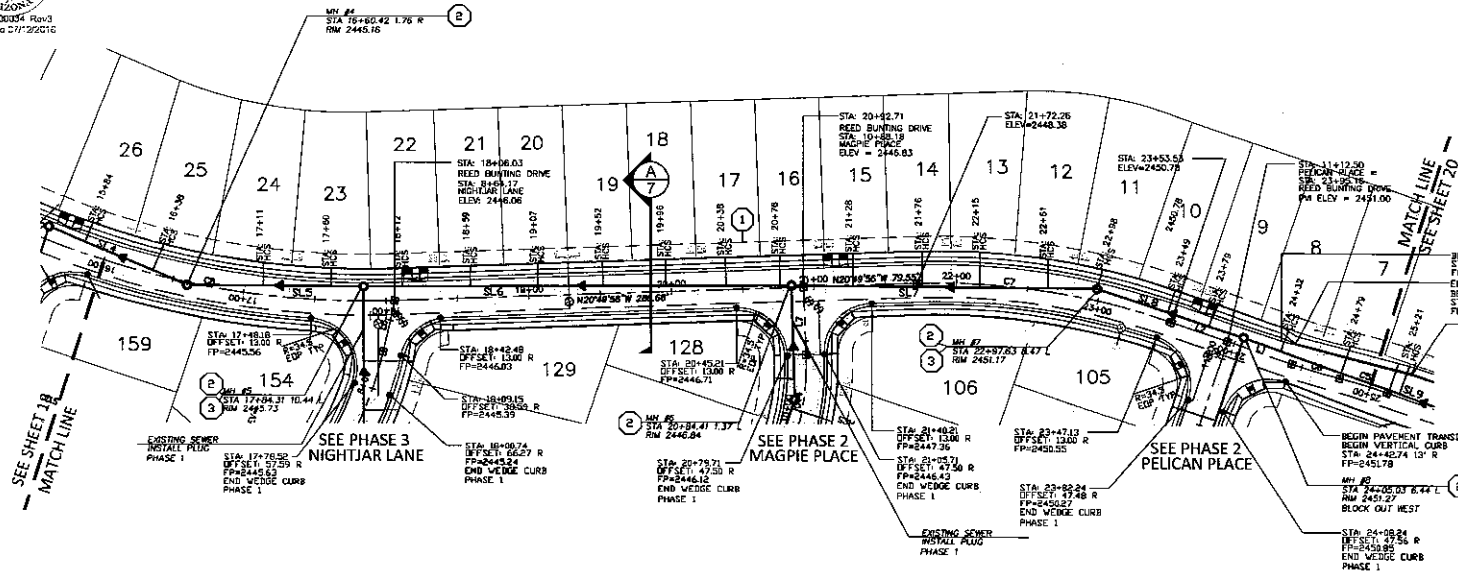
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128
PROFILES

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4412 EAST WILLOW STREET, SUITE 100
TUCSON, ARIZONA 85712



P155C00034 Rev.3
As per 07/17/2018



- KEYNOTES**
- 10' UTILITY EASEMENT
 - MH PER RWRD 205
CONCRETE COLLAR PER RWRD 211
 - WATER TIGHT MANHOLE
PER RWRD 214

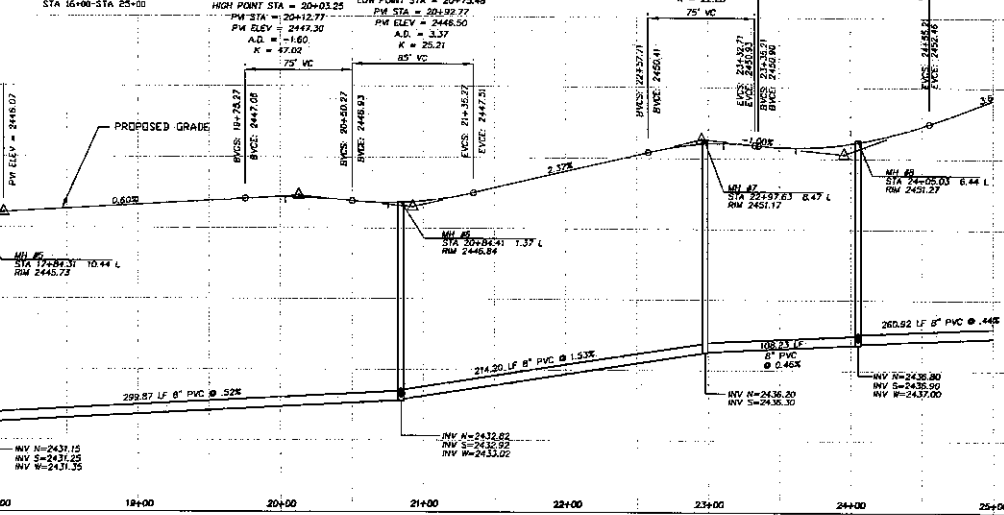
SEWER LINE TABLE

LINE	LENGTH	BEARING
SL4	104.30	N63°59'43"E
SL5	125.36	N10°59'12"W
SL6	299.87	S17°01'31"E
SL7	214.20	S18°28'25"E
SL8	186.23	S89°40'02"E
SL9	260.92	S07°42'28"W



G2015-098
P155C00034

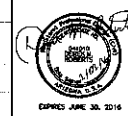
REED BUNTING DRIVE



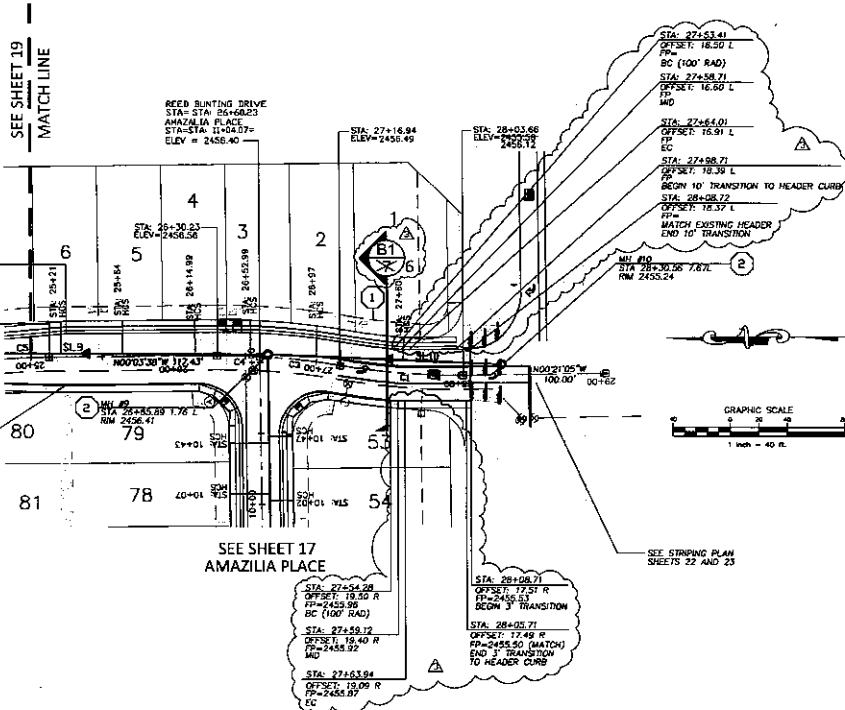
REVISION	DATE	DESCRIPTION	BY
1	2/1/16	BSB REVISED COMMENTS	DMR
2	04/19/16	REVISED SHEET NUMBERS ADDED LOTS 105, 106, 110	DMR

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 TISS RISE
GILA & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA

PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128
PROFILES



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KEYNOTES

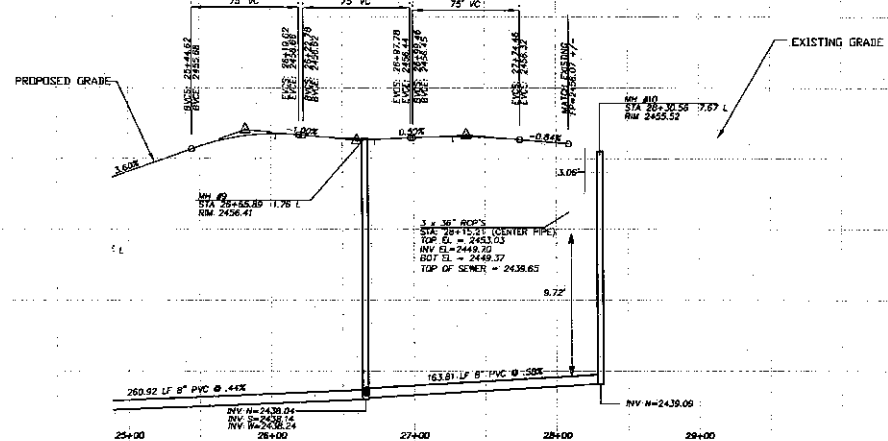
- ① 10' UTILITY EASEMENT
- ② MH PER RWRD 205
CONCRETE COLLAR PER RWRD 211

SEWER LINE TABLE		
LINE	LENGTH	BEARING
SL 9	260.92	S80°45'28"W
SL 10	163.81	S88°45'55"W



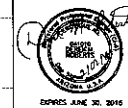
**G2015-098
P155C00034**

HIGH POINT ELEV = 2456.74 LOW POINT ELEV = 2456.37 HIGH POINT ELEV = 2455.52
 HIGH POINT STA = 26+163.34 LOW POINT STA = 26+72.75 HIGH POINT STA = 27+27.43
 PM STA = 25+82.12 PM STA = 26+60.28 PM STA = 27+36.96
 PM ELEV = 2457.03 PM ELEV = 2456.25 PM ELEV = 2456.61
 A.D. = -4.60 A.D. = 1.59 A.D. = -1.34
 K = 16.31 K = 50.07 K = 55.95



REVISION	DATE	DESCRIPTION	BY
△	2/1/16	DSB 01/29/16 COMMENTS	DNR
△	04/19/16	REVISED SHEET NUMBERS ADDED LOTS 80, 105, & 106	DNR
△	07/11/16	REVISED REED BUNTING ENTRY CROSS SECTION/TIE IN INFO	DNR

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
 A PORTION OF SECTION 8 T15S R12E
 G1A & SALT RIVER MERIDIAN
 PIMA COUNTY, ARIZONA
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128
PROFILES



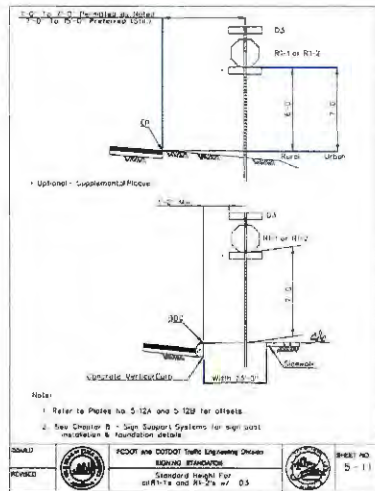
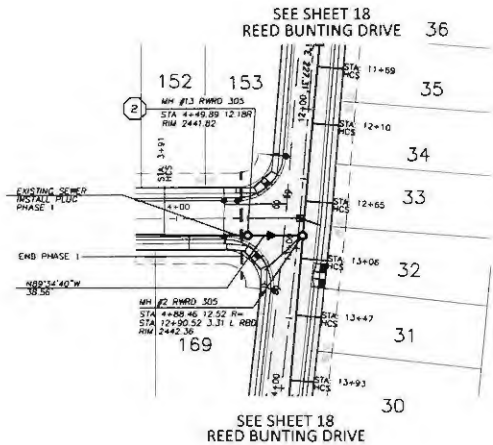
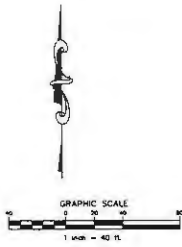
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1440 W CANYON SHADOWS LN ORO VALLEY AZ 85717
PH: (520) 975-7994 www.allianceaz.com



KEYNOTES

- ① 10' UTILITY EASEMENT
- ② MH PER RWRD 205
CONCRETE COLLAR PER RWRD 211



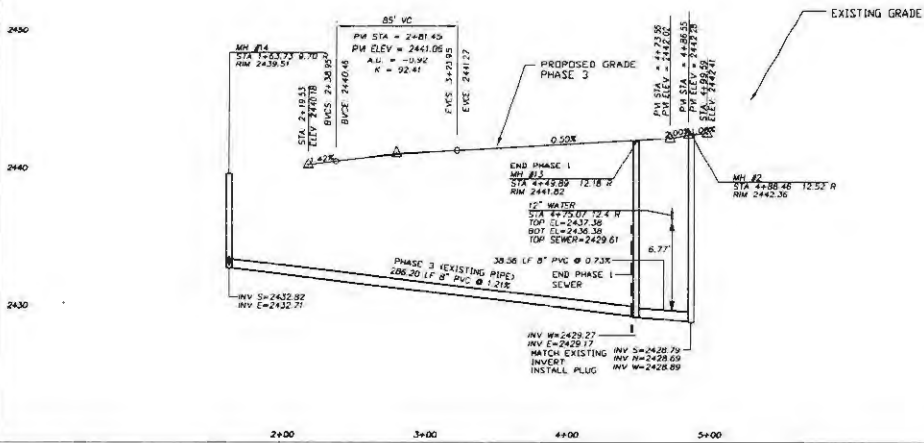
PIMA COUNTY TRAFFIC
ENGINEERING DIVISION
MINIMUM SPACING MEASUREMENTS
FOR STREET NAMES
6" STREET NAME



- 1. Refer to Phase No. 5-12A and 5-12B for offsets.
- 2. See Chapter B - Sign Support Systems for sign post installation & foundation details.



OSPREY LANE
STA 1+72.11-STA 4+86.54



REVISION	DATE	DESCRIPTION	BY
1	2/1/16	DSB 01/29/16 COMMENTS	DHR
2	04/19/16	REVISED SHEET NUMBERS ADDED LOTS 98, 105, & 106	DHR

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 T1SS R1Z2
G1LA & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, CHANNEL 5
LOTS 80, 105, 106 PHASE 1
128 PROFILES

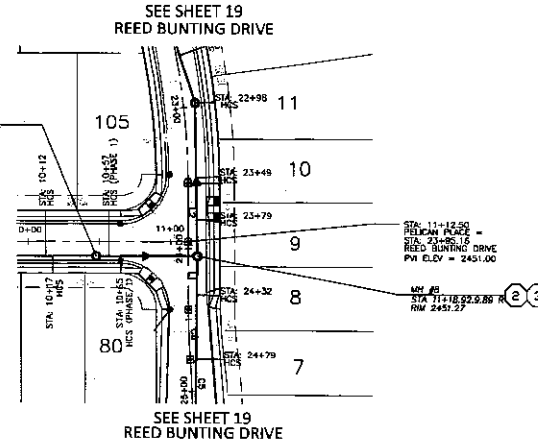
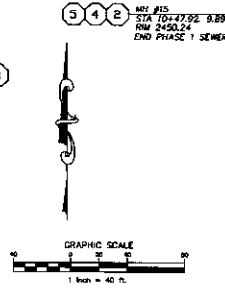
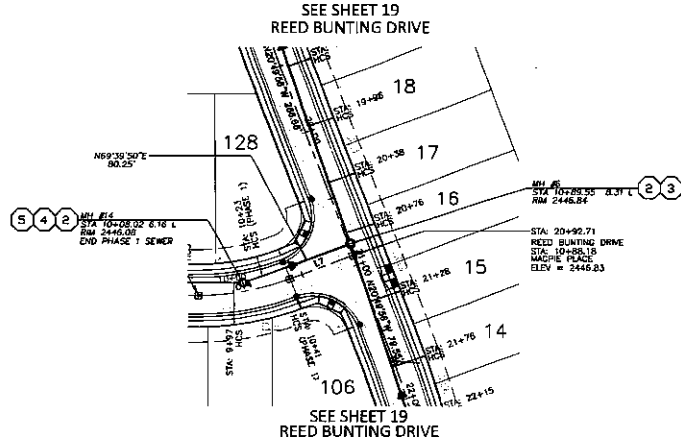


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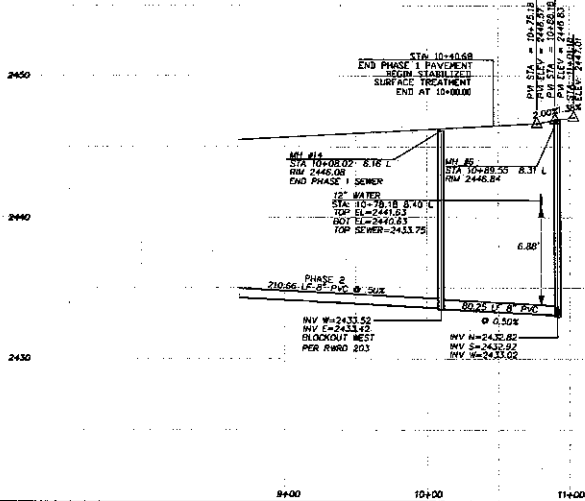
PHISSACHUN ROAD
APPROXIMATE 07/19/2016



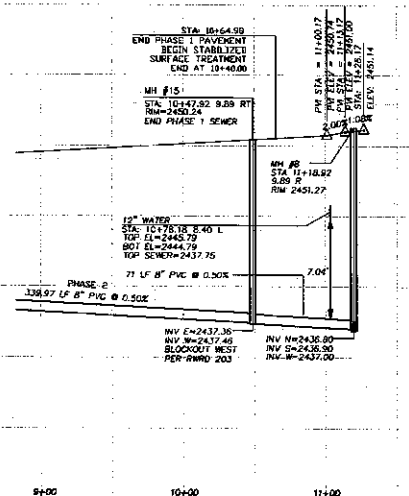
KEYNOTES

- ① 10' UTILITY EASEMENT
- ② MH PER RWRD 205
- ③ CONCRETE COLLAR PER RWRD 211
- ④ CONCRETE COLLAR PER RWRD 212
- ⑤ WATER TIGHT MANHOLE COVER PER RWRD 214

MAGPIE PLACE
STA 10+08.02 - STA 11+01.16



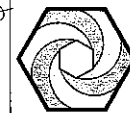
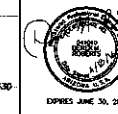
PELICAN PLACE
STA 10+47.92 - STA 11+26.17



G2015-098
P15SC00034

REVISION	DATE	DESCRIPTION	BY
1	NA		
2	03/11/16	ADDED MAGPIE AND PELICAN PLACE ON NEW SHEET 22	DMC
3			

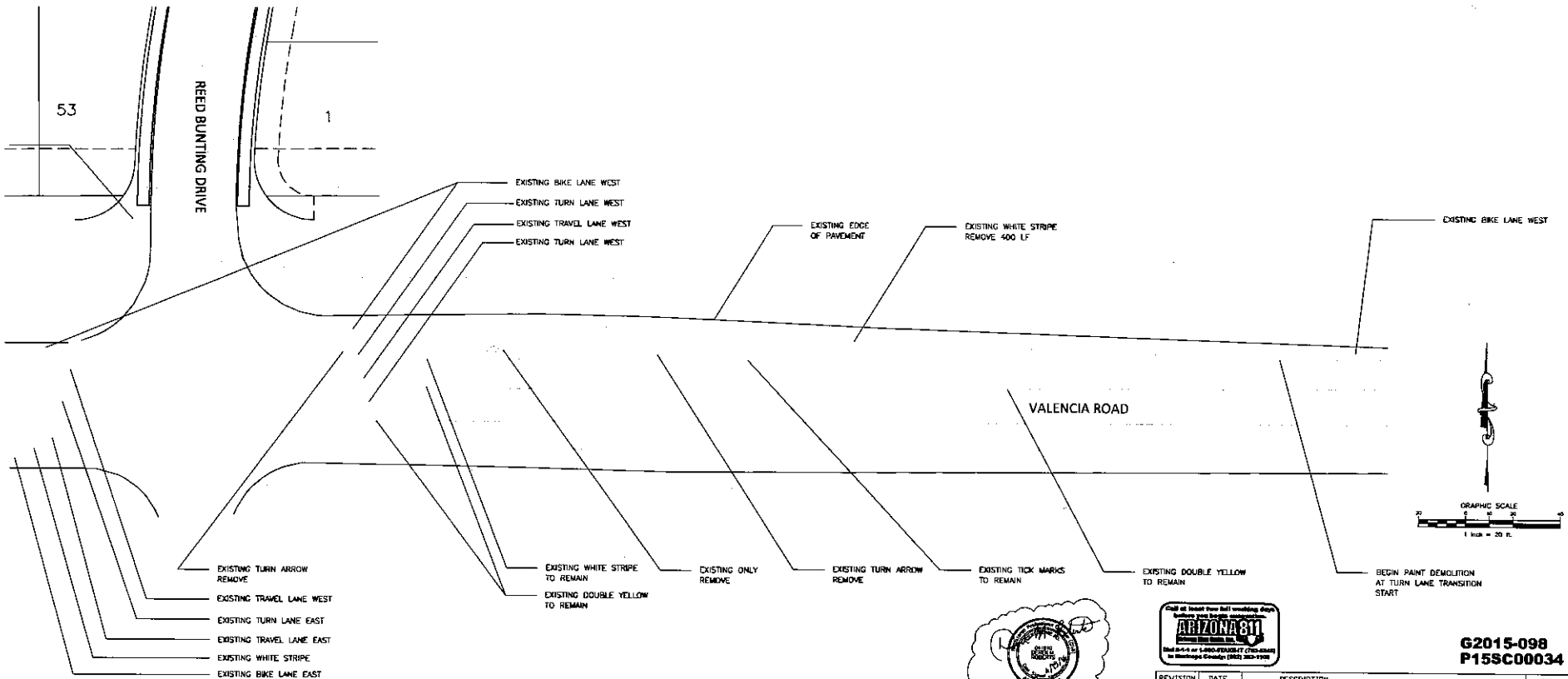
SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 TISS RISE
GILA & SALT RIVER MERIDIAN
PIHA COUNTY, ARIZONA
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79, 80, 105, 106, 128 CHANNEL 5
PHASE 1
PROFILES



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PH: (520) 975-7992 www.alliancepc.com

AS BUILT BY:	DRWN BY: DMR	CHK BY: DMR	PRD: 15-107	SHEET 22 OF 24
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PAVEMENT MARKING NOTES

- ALL EQUIPMENT/MATERIALS AND CONSTRUCTION SHALL MEET OR EXCEED THE REQUIREMENTS CONTAINED IN THE CURRENT CITY OF TUCSON / PIMA COUNTY (COT/PE) STANDARD SPECIFICATIONS AND THE STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, THE SPECIAL PROVISIONS AND THE APPROVED PLANS. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE PC/COT PAVEMENT MARKING DESIGN MANUAL AND APPLICABLE AMENDMENTS.
- THE STRIPING CONTRACTOR SHALL CONTACT THE PIMA COUNTY PAVEMENT MARKING SUPERVISOR (520-724-2624) AT LEAST THREE WORKING DAYS IN ADVANCE OF ANY PAVEMENT MARKING LAYOUT BEING INSTALLED TO SCHEDULE INSPECTION AND APPROVAL OF PAVEMENT MARKINGS DURING NORMAL BUSINESS HOURS MONDAY THRU FRIDAY, STATE HOLIDAYS EXCLUDED.
- UPON APPROVAL OF THE PAVEMENT MARKING LAYOUT, THE PIMA COUNTY PAVEMENT MARKING SUPERVISOR WILL ISSUE WRITTEN AUTHORIZATION TO CONTRACTOR TO PROCEED WITH INSTALLING ALL PAVEMENT MARKINGS AND ASSOCIATED REFLECTIVE RAISED PAVEMENT MARKINGS.
- THE PERMANENT PAVEMENT MARKINGS MAY BE MODIFIED AS DIRECTED AND APPROVED BY THE TRAFFIC ENGINEER OR THEIR DESIGNEE.
- THE DESIGN SPEED FOR THE ROAD IS 45 MPH (VALENCIA ROAD) 25 MPH ON-SITE. THE DESIGN VEHICLE IS WB40. THE POSTED SPEED LIMIT IS 45 MPH ON VALENCIA ROAD AND 25 MPH ON-SITE.
- ALL LANE DIMENSIONS ARE MEASURED FROM THE CENTER OF LANE LINE, CENTER OF DOUBLE LANE LINE, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE PAVEMENT MARKING DRAWINGS ARE SCHEMATIC ONLY. THE CONTRACTOR SHALL FOLLOW ALL DIMENSIONS, APPLICABLE MARKING DETAILS, AND SPECIFIED PIMA COUNTY STANDARDS WHEN INSTALLING PAVEMENT STRIPING, SYMBOLS, LEGENDS, AND MARKERS.
- PAINTED LAYOUT STRIPING SHALL BE 15 MILS (0.015") THICK, WATER BASED PAINT PLACED ON THE FINAL PAVEMENT SURFACE WITH 8 POUNDS PER GALLON OF AASHTO M 247-13 TYPE 1 GLASS BEADS WITH ADESION/MOISTURE PROOF COATING. PAINTED LAYOUT STRIPING SHALL BE INSTALLED WITHIN FIVE WORKING DAYS OF THE FINAL PAVEMENT SURFACE BEING COMPLETED.
- PAINTED SYMBOLS AND LEGENDS SHALL BE APPLIED AT THE SAME TIME AS THE PAINTED STRIPING, WITH THE EXCEPTION OF BIKE LANE SYMBOLS AND WORDS (SUCH AS STOP, AHEAD, ONLY ETC.).
- THE FINAL LONGITUDINAL STRIPING SHALL BE 90 MIL (0.090") RIBBON EXTRUDED THERMOPLASTIC REFLECTORIZED STRIPING PLACED OVER THE PAINTED LAYOUT STRIPING WITH A SINGLE DROP OF 10 POUNDS PER 100 SQUARE FOOT OF AASHTO M 247-13 TYPE 1 GLASS BEADS. THE FINAL LONGITUDINAL STRIPING SHALL BE PLACED WITHIN 21 TO 30 CALENDAR DAYS OF THE FINAL PAVEMENT SURFACE BEING COMPLETED. ALL PREVIOUSLY EXEMPTED LONGLINE MARKINGS SHALL BE APPLIED DURING THE FINAL LONGITUDINAL STRIPING.
- ALL FINAL TRANSVERSE STRIPING, INCLUDING SYMBOLS AND LEGENDS, SHALL BE 90 MIL (0.090") ALLOY HAND CART EXTRUDED THERMOPLASTIC WITH 10 POUNDS PER 100 SQUARE FOOT OF AASHTO M 247-13 TYPE 1 GLASS BEADS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT AND INSTALLATION OF PAVEMENT MARKINGS ON THE FINAL SURFACE COURSE FOLLOWING ONE CONTROL LINE PER DIRECTION OF TRAVEL CONSISTING OF CONTROL POINTS THAT HAVE BEEN SET TO NO MORE THAN 30 FEET APART ON CURVE SECTIONS AND 200 FEET IN TANGENT SECTIONS WHERE THE PAVEMENT MARKING PATTERN DOES NOT CHANGE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE FINAL SURFACE COURSE IS PLACED SO THAT THE CONSTRUCTION JOINT IS NO MORE THAN ONE FOOT OFFSET FROM THE FINAL STRIPING.
- ALL RETROREFLECTIVE RAISED PAVEMENT MARKERS (RRPMs or RPAAs) SHALL BE INSTALLED SO THAT THE REFLECTIVE FACE OF EACH MARKER IS FACING THE DIRECTION OF TRAFFIC AND IS PERPENDICULAR TO THE DIRECTION OF TRAFFIC FLOW. TYPE C OR G PAVEMENT MARKERS SHALL BE INSTALLED SO THAT THE CLEAR (OR WHITE) REFLECTIVE FACE OF EACH MARKER IS FACING APPROACHING TRAFFIC AND PERPENDICULAR TO THE DIRECTION OF TRAFFIC FLOW TO WHICH IT APPLIES.
- ALL RETROREFLECTIVE RAISED PAVEMENT MARKERS (RRPMs or RPAAs) SHALL BE INSTALLED PER THE CURRENT EDITION OF THE PC/COT PAVEMENT MARKING MANUAL AND APPLICABLE AMENDMENTS.
- ALL REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTION 701 OF THE PC/COT STANDARD SPECIFICATIONS. PAINTING OVER EXISTING STRIPING DOES NOT CONSTITUTE APPROVED STRIPING OBLITERATION.
- FOR PRIVATE DEVELOPMENT PROJECTS, THE DESIGN CONSULTANT/PROJECT MANAGER SHALL BE REQUIRED TO PRODUCE AS-BUILT STRIPING PLANS WITHIN 90 DAYS OF STRIPING COMPLETION.
- UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE INSTALLED BY THE CONTRACTOR.
- UPON FINAL INSPECTION A WRITTEN ACCEPTANCE OR ITEMIZED PUNCHLIST OF MISSING OR UNACCEPTABLE PAVEMENT MARKINGS SHALL BE SUBMITTED TO THE CONTRACTOR AND PIMA COUNTY BY THE TRAFFIC ENGINEER OR DESIGNATED REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL STRIPING UNTIL PROJECT IS APPROVED FOR "CONSTRUCTION ACCEPTANCE" BY PIMA COUNTY (FULLY OPEN TO TRAFFIC). ALL PUNCH LIST ITEMS ARE COMPLETED, AND THE ONE-YEAR MINIMUM WARRANTY BEGINS. IF THE PAVEMENT MARKING MATERIAL MANUFACTURER OFFERS A LONGER WARRANTY THE CONTRACTOR SHALL TRANSFER THAT WARRANTY TO PIMA COUNTY.
- THE PC/COT PAVEMENT MARKING MANUAL IS AVAILABLE ONLINE.



G2015-098
P155C00034

REVISION	DATE	DESCRIPTION	BY
1	02/01/16	REVISED PER BSD COMMENTS 01/29/16	DNR
2	04/19/16	REVISED SHEET NUMBERS ADDED LOTS 80, 105, & 106	DNR

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
A PORTION OF SECTION 8 TISS RISE
GILA & SALT RIVER MERIDIAN
PIMA COUNTY, ARIZONA
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79
LOTS 80, 105, 106 PHASE 1
128 STRIPING DEMOLITION

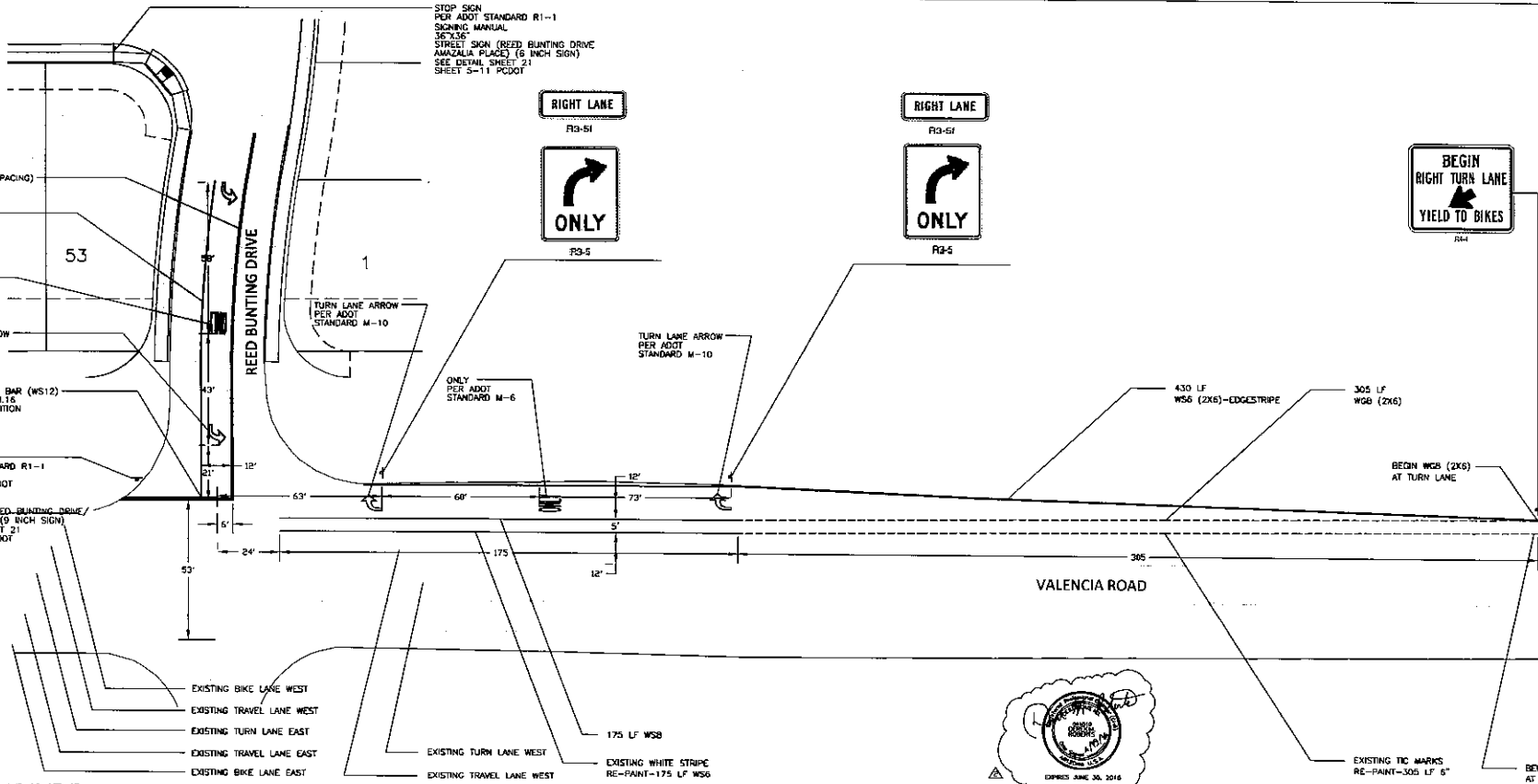
EXPIRES JUNE 30, 2015

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PH: (520) 978-7904

AS BUILT BY: _____ DRAWN BY: DNR CHK BY: DNR PROJ: 15-187

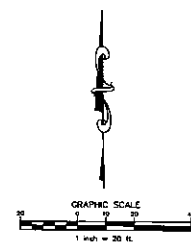
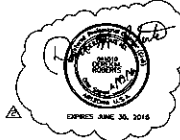


STOP SIGN PER ADOT STANDARD R1-1
SIGNING MANUAL SECTION 36.36
STREET SIGN (REED BUNTING DRIVE AMAZALIA PLACE) (6 INCH SIGN)
SEE DETAIL SHEET 21
SHEET 5-11 PCDDOT



SIGNAGE NOTES

1. ALL EQUIPMENT, MATERIALS AND CONSTRUCTION SHALL MEET OR EXCEED THE REQUIREMENTS CONTAINED IN THE CURRENT CITY OF TUCSON / PIMA COUNTY (COT/PC) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, THE SPECIAL PROVISIONS AND THE PLANS.
2. ALL SIGNS SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE LATEST EDITION OF THE PIMA COUNTY/CITY OF TUCSON TRAFFIC SIGNING DESIGN MANUAL, THESE PLANS, AND THE SPECIAL PROVISIONS.
3. SIGNS MAY BE MODIFIED AND LOCATIONS ADJUSTED TO FIT CONDITIONS AT THE DISCRETION OF THE TRAFFIC ENGINEER.
4. THE DESIGN SPEED FOR THE ROAD IS 45 MPH OFFSITE AND 25 MPH ONSITE. THE POSTED SPEED LIMIT IS 45 ON VALENCIA ROAD. SIGN PLACEMENT SHALL BE BASED ON THE POSTED SPEED LIMIT.
5. POST LENGTHS INDICATED ON SIGN SUMMARY SHEETS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ACTUAL POST LENGTHS.
6. ALL PERFORATED POSTS SHALL BE INSTALLED IN A CONCRETE FOUNDATION, UNLESS OTHERWISE DIRECTED BY THE TRAFFIC ENGINEER.
7. ALL SIGN STATION LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ACTUAL SIGN LOCATIONS WITH THE TRAFFIC ENGINEER PRIOR TO THE INSTALLATION OF ALL SIGNS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH BLUE STAKE, FOR INSTALLING ALL TRAFFIC SIGNS IN THE FIELD AND FOR MAINTAINING ALL SIGNING UNTIL PROJECT IS APPROVED FOR "CONSTRUCTION ACCEPTANCE" BY PIMA COUNTY (FULLY OPEN TO TRAFFIC). ALL PUNCH LIST ITEMS ARE COMPLETED, AND ONE YEAR WARRANTIES BEGIN.
9. ALL OVERHEAD MOUNTED SIGNS SHALL BE DIAMOND GRADE SHEETING, TYPE XI. ALL SCHOOL SIGNS SHALL BE FLUORESCENT YELLOW/GREEN. DIAMOND GRADE SHEETING, TYPE XI. ALL OTHER SIGNS SHALL BE HIGH INTENSITY PRISMATIC SHEETING, TYPE IV. ALL GROUND MOUNTED SIGNS SHALL HAVE AN ANTI GRAFFITI COATING APPLIED TO SIGN FACE, 3M #1180 FLM OR EQUIVALENT.
10. ALL NEW SIGNS SHALL HAVE 0.080 GAUGE, RADIUS CORNER, ALUMINUM BACKING UNLESS OTHERWISE NOTED.
11. PRIOR TO DISTURBING ANY TRAFFIC SIGNS, A SIGN CONDITION INVENTORY OF ALL EXISTING SIGNING SHALL BE CONDUCTED BY THE CONTRACTOR AND PROVIDED TO THE SIGN SHOP SUPERVISOR (520-724-2611). INVENTORY SHALL INDICATE CURRENT SIGN LOCATION AND CONDITION, INCLUDING ANY EXISTING DAMAGE OR DEFICIENCIES.
12. ANY SIGNS AND POSTS BEING RE-USED ON THIS PROJECT SHALL BE STOCKPILED IN A MANNER TO AVOID DAMAGE AND MAINTAIN THE INTEGRITY OF THE SIGNS. SAFE STORAGE OF STOCKPILE AND PAYMENT FOR DAMAGE TO STOCKPILE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. ALL SIGNS AND POSTS NOT BEING RE-USED ON THE PROJECT SHALL BE DISMANTLED, STACKED AND DELIVERED TO THE OWNER (CITY OR COUNTY) BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE STORAGE AT THE CONSTRUCTION SITE UNTIL DELIVERY, AND THE SAFE UNLOADING OF THE SALVAGED MATERIAL. NOTIFICATION OF DELIVERY SHALL BE MADE AT LEAST TWO WORKING DAYS PRIOR TO DELIVERY (48 HOURS). PIMA COUNTY SIGN SHOP 1313 S. MISSION ROAD (520-724-2367). NO FRIDAY DELIVERIES.



REVISION	DATE	DESCRIPTION	BY
1	2/1/16	ADDED DIMENSIONS	DMR
2	04/19/16	REVISED SHEET NUMBERS ADDED LOTS 80, 105, & 106	DMR
3			

SONORAN RANCH ESTATES II
LOTS 1-572
COMMON AREA "A" AND COMMON AREA "B"
BOOK 60 PAGE 47 M&P
 A PORTION OF SECTION 8 TISS RISE
 GILA & SALT RIVER MERIDIAN
 PIMA COUNTY, ARIZONA
PRIVATE GRADING AND DRAINAGE PLANS
PUBLIC PAVING AND SEWER PLANS
LOTS 1-43, 53-79
LOTS 80, 105, 106 PHASE 1
12B SIGNING AND STRIPING



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